

REVERSE SUBDIVISION & FINAL LAND DEVELOPMENT PLAN FOR FORD TRUCK CENTER

OWNER:
SMITH LAND & IMPROVEMENT CORPORATION
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

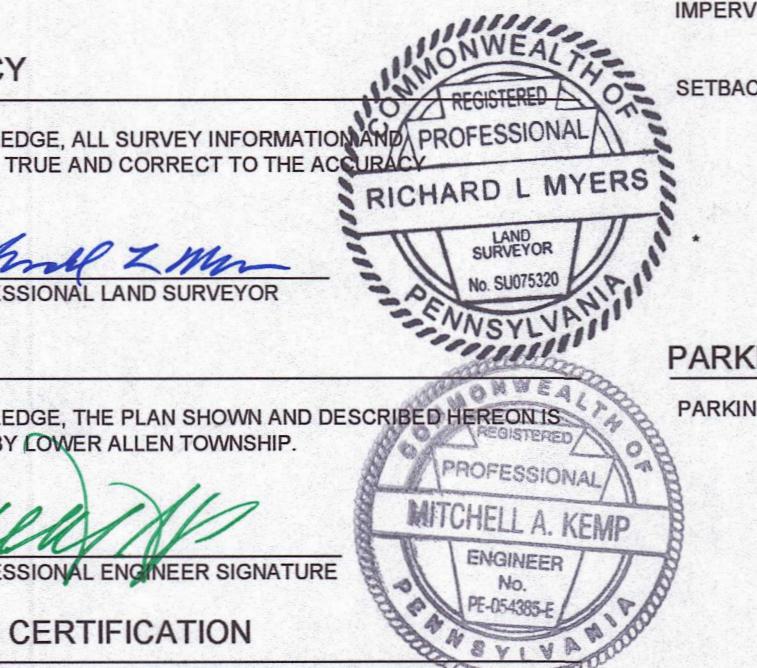
SOURCE OF TITLE

CUMBERLAND COUNTY TAX MAP
TAX MAP ID: 13-2-0538
PARCEL ID: 046, 047, 048, 049, 050
051, 052, 053, 055
ADDRESS: 1010 - 1048 STATE ROAD
DEED REF: 201900497
00167-20144
200920905
202221589
00204-00039

CERTIFICATE OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, ALL SURVEY INFORMATION AND COMPUTATIONS SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY LOWER ALLEN TOWNSHIP

10/18 2024
Richard L. Myers
PROFESSIONAL LAND SURVEYOR



CERTIFICATE OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREIN IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY LOWER ALLEN TOWNSHIP.

10/18 2024
Yvonne J. Kemp
PROFESSIONAL ENGINEER SIGNATURE

STORMWATER MANAGEMENT PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE LOWER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, AND THAT I HAVE BEEN ON SITE ON JULY 20, 2023 FOR THE PURPOSES OF CONDUCTING A VISUAL SITE INSPECTION TO DETERMINE THE EXISTING GROUND COVER.

10/18 2024
Yvonne J. Kemp
PROFESSIONAL ENGINEER SIGNATURE

CUMBERLAND COUNTY PLANNING COMMISSION CERTIFICATE

REVIEWED THIS 25th DAY OF October, 2023 BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

10/18 2024
Director of Planning (SMA)

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS CERTIFICATE OF MUNICIPAL APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY PA.

APPROVED THIS 18th DAY OF February, 2024
CONDITIONS OF APPROVAL COMPLETED THIS 18th DAY OF November, 2024

10/18 2024
President (SMA)
Secretary (SMA)

CERTIFICATE OF STORMWATER OWNERSHIP

I, Richard E. Jordan III, acknowledge the Stormwater Management BMPs and facilities to be permanent fixtures that can only be altered or removed after approval of a revised plan by the municipality.

CERTIFICATE OF OWNERSHIP ACKNOWLEDGEMENT OF THE PLAN/ OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND

ON THIS 10th DAY OF October, 2024 BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED Richard E. Jordan III, WHO BEING DULY SWORN

ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND SUBMITTED WITH THE FREE WILL AND CONSENT, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE WRITTEN.

Richard E. Jordan III
OWNER SIGNATURE
Notary Seal
Signature

Commonwealth of Pennsylvania - Notary Seal
Circular Notary Public
Cumberland County
My commission expires December 8, 2026
Commission number 1101431
Member, Pennsylvania Association of Notaries

RECORD INFORMATION

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE
RECORDED THIS 20th DAY OF November, 2024

INSTRUMENT NO. 2024-1101431

ZONING DATA

ZONING DISTRICT:	I-3 INDUSTRIAL/COMMERCIAL GROUNDWATER NON-USE OVERLAY DISTRICT		
USE:	PROPOSED TRUCK CENTER (PERMITTED USE) EXISTING OFFICE USE (PERMITTED USE) (81) OTHER SERVICES		
NAICS CATEGORY:	811100 AUTOMOTIVE REPAIR & MAINTENANCE		
UTILITY DATA:	SEWER	PUBLIC	PUBLIC
MIN LOT SIZE	REQUIRED NOT REQ'D	EXISTING 130,335 SF NET 2.982 AC	PROPOSED 130,335 SF NET 2.992 AC
MAX BUILDING HEIGHT	75 MAX	25	40'
IMPERVIOUS COVERAGE*	70% MAXIMUM*	94,572 SF 72.56%	94,524 SF 72.52%
SETBACKS	FRONT REAR SIDE	30' MINIMUM 35' MINIMUM 10' MINIMUM (WHEN ABUTTING A RAILROAD)	

DENOTES REDUCTION OR ELIMINATION OF EXISTING NON-COMPLIANCE

PARKING REQUIREMENTS

PARKING REQUIREMENT:	TRUCK CENTER (3 SPACES FOR EVERY BAY)	24 BAYS (72 SPACES)
	COMMERCIAL PARTS AREA (1 SPACE/200 SF)	400 SF. (2 SPACES)
	OFFICE (1 SPACE/200 SF)	6000 SF. (30 SPACES)
TOTAL SPACES REQUIRED	104 SPACES	
TOTAL SPACES PROVIDED	104 SPACES	
ACCESSIBLE SPACES REQUIRED	5 SPACES	
ACCESSIBLE SPACES PROVIDED	5 SPACES	
OFF-STREET LOADING:	REQUIRED PROVIDED	3 SPACES 3 SPACES 12' W X 45' L X 14' H LOADING/UNLOADING SPACES CONTAINED WITHIN BUILDING

AIRPORT HAZARD ZONE REQUIREMENTS:

SECTION 222-220.2
USE RESTRICTIONS. NOTWITHSTANDING ANY OTHER PROVISIONS OF THIS CHAPTER, NO USE MAY BE MADE OF LAND OR WATER WITHIN ANY ZONE ESTABLISHED BY THIS CHAPTER IN SUCH A MANNER AS TO CREATE ELECTRICAL INTERFERENCE WITH NAVIGATIONAL SIGNALS OR RADIO COMMUNICATION BETWEEN THE AIRPORT AND AIRCRAFT, MAKE IT DIFFICULT FOR PILOTS TO DISTINGUISH BETWEEN THE AIRPORT AND AIRCRAFT, OR MAKE THE EYES OF PILOTS USING THE AIRPORT, IMPAIR VISIBILITY IN THE VICINITY OF THE AIRPORT, CREATE BIRD STRIKE HAZARDS OR OTHERWISE IN ANY WAY ENDANGER OR INTERFERE WITH THE LANDING, TAKEOFF OR MANEUVERING OF AIRCRAFT INTENDING TO USE THE AIRPORT.

10/18 2024
Yvonne J. Kemp
PROFESSIONAL ENGINEER SIGNATURE

SINKHOLE REMEDIATION NOTE

ANY SINKHOLE OR POTENTIAL SINKHOLE ENCOUNTERED SHALL BE INSPECTED BY A PROFESSIONAL GEOLOGIST AND THE CONDITIONS SHALL BE ADDRESSED ON A CASE BY CASE BASIS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROFESSIONAL. SINKHOLE REPAIRS SHALL BE CONDUCTED IN ACCORDANCE WITH THE STANDARD INDUSTRY PRACTICES AND APPLICABLE REQUIREMENTS OF THE PLAN.

10/18 2024
Yvonne J. Kemp
PROFESSIONAL ENGINEER SIGNATURE

MUNICIPAL NOTES

1. THE MUNICIPALITY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE, AND NO ALTERATION TO SWALES, OR BASINS, OR PLACEMENT OF STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS. THE TYPICAL STREET CROSS-SECTION IS IN ACCORDANCE WITH THE MUNICIPAL ORDINANCE. ALL STORMWATER PIPES, INLETS AND OUTLETS ARE THE RESPONSIBILITY OF THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF THE DEVELOPER FOR MAINTENANCE.

2. IT IS THE RESPONSIBILITY OF THE DEVELOPER FOR THE ELECTRICITY AND MAINTENANCE COSTS OF ALL STREET LIGHTS.

3. ALL CONNECTIONS FOR STORMWATER PIPING SHALL BE WATERTIGHT.

4. THE PURPOSE OF THIS PLAN IS TO COMBINE THE VARIOUS LOTS THROUGH A REVERSE SUBDIVISION AND CONSTRUCT A FORD TRUCK REPAIR CENTER.

5. THE TOPOGRAPHIC SURVEY DATA IS BASED ON FIELD SURVEY BY VM A BRINDE ASSOCIATES INC. PERFORMED ON APRIL 14, 2023.

6. THE PROPERTY BOUNDARY DATA IS BASED ON FIELD SURVEY BY VM A BRINDE ASSOCIATES INC. PERFORMED ON APRIL 14, 2023.

7. A P.A. ONE-CALL SYSTEM NOTIFICATION HAS BEEN MADE, SERIAL NO. 20230900262

8. ALL WORK SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SPECIFICATIONS AND PUBLICATION 72, ROADWAY CONSTRUCTION STANDARDS, UNLESS OTHERWISE NOTED.

9. WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.

10. A RIGHT-OF-WAY PERMIT IS REQUIRED BEFORE STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

11. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL STORMWATER FACILITIES AND RELATED WORK.

12. TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH ALL PENNDOT STANDARDS AND REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.

13. ALL STORM DRAINAGE PIPE SHALL BE SMOOTH INTERIOR UNLESS OTHERWISE NOTED.

14. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF SOIL EROSION CONTROL MEASURES, AS CONTAINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.

15. MANHOLE COVERS FOR STORM MANHOLES SHALL BE CAST WITH THE WORD "STORM" FOR IDENTIFICATION PURPOSES.

16. CONSTRUCTION OF ALL WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND RELATED TO STORM DRAINAGE FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. PROVIDE A MINIMUM 48 HOURS NOTICE TO THE TOWNSHIP BEFORE STARTING ANY WORK.

17. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.

18. SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.

19. NO PROPOSED COVENANTS ARE PROPOSED.

20. A RECORD PLAN SHALL BE PROVIDED SHOWING RIGHTS-OF-WAY, EASEMENTS, LOT LINES, WATER, SEWER AND OTHER UTILITIES AND ALL PUBLIC IMPROVEMENTS.

21. ALL APPROVED PCSM PLANS SHALL BE ONSITE THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.

DEVELOPMENT SCHEDULE

START CONSTRUCTION APRIL 2024

END CONSTRUCTION DECEMBER 2024

22. THE OWNER IS RESPONSIBLE TO PROVIDE AS-BUILT PLANS FOR ALL STORMWATER AMENITIES AND ANY EXPLANATION OF DISCREPANCIES TO BE SIGNED AND SEALED BY THE ENGINEER OF RECORD. THE TOWNSHIP HAS THE ABILITY TO CONDUCT A FINAL INSPECTION OF THE SITE AFTER RECEIPT OF THE APPROVED PCSM PLANS.

23. THE PROPERTY OWNER SHALL EXECUTE A SWM BMP MAINTENANCE AND MONITORING AGREEMENT TO DECLARE THE OWNER TO BE THE OWNER AND PARTY RESPONSIBLE FOR MAINTENANCE AND MONITORING OF ALL STORMWATER BMPS.

24. ALL FLOOR DRAINS IN GARAGE AREA SHALL BE CONNECTED TO THE OIL/GREASE SEPARATOR AS SHOWN HEREIN.

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

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STORM CONVEYANCE NOTES

- ALL EMBEDMENT MATERIALS USED FOR BEDDING, LAUNCHING AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- CONTRACTOR IS TO MAKE ADJUSTMENTS AS NEEDED AT THE PIPE BELL JOINTS IN THE TRENCH CONSTRUCTION AND BACKFILL. REFER TO AAS TECHNICAL NOTE 3.115 FOR INSTALLATION SPECIFICATIONS.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE.
- THE EXISTING UTILITIES SHOWN HAVE BEEN DETERMINED AND REFERENCED BASED ON THE CONTRACTOR'S KNOWLEDGE. AT THE TIME OF DESIGN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 A MINIMUM OF 3 DAYS PRIOR TO EXCAVATING OR WITH CAREFUL EXPLORATORY WORK. AT THE CONTRACTOR'S DISCRETION, THE CONTRACTOR MAY REQUEST THAT UTILITIES WHICH ARE NOT TO BE LOCATED THROUGH THE ONE CALL PROCESS, IT MAY BE NECESSARY FOR THE OWNER TO ADJUST THE PROPOSED UTILITY LOCATION TO RESOLVE ANY UTILITY CROSSING CONFLICTS WHICH MAY OCCUR. SLD SHALL BE NOTIFIED IMMEDIATELY IF ANY SUCH CONFLICTS ARE ENCOUNTERED.
- ALL UTILITY ELEVATIONS ARE AT THE INVERT UNLESS OTHERWISE NOTED.

BMP COMPACTION NOTE

NO WHEELED VEHICLES ARE PERMITTED ON THE BMP BOTTOMS AFTER EXCAVATION. THE BMP BOTTOMS ARE EXCAVATED TO THE PLAT AND DUG TO THE DESIGN. THE BMP BOTTOMS WILL BE PROTECTED BY ORANGE CONSTRUCTION FENCING. NO WHEELED VEHICLES ARE PERMITTED, AND THE CONTRACTOR MUST DO ANY AND ALL WORK TO THE BMP BOTTOM FROM THE SIDE SLOPES OR USED TRACKED VEHICLES. THE BMP BOTTOM SHALL BE SCARIFIED OR TILLED TO A DEPTH OF 9" PRIOR TO SEEDING APPLICATION.

LIMITING ZONE REMEDIATION NOTES

- CONTRACTOR SHALL PROBE THE SUBSOIL (VIRGIN CONDITIONS) BENEATH STORMWATER MANAGEMENT BMP'S TO VERIFY THAT A MINIMUM OF 24 INCHES OF SOIL IS PROVIDED TO THE LIMITING ZONE IN ACCORDANCE WITH APPENDIX C OF THE PENNSYLVANIA STORMWATER BMP MANUAL.
- IF A DEPTH OF 24 INCHES TO THE EXISTING BEDROCK IS NOT PROVIDED, THE CONTRACTOR SHALL DETERMINE THE SOIL MANTLE BELOW THE FACILITY IN ACCORDANCE WITH THE FOLLOWING PROCEDURE:
 - UNDER THE DIRECTION OF THE PROFESSIONAL GEOLOGIST, THE CONTRACTOR SHALL OVER EXCAVATE THE BOTTOM OF THE FACILITY AN ADDITIONAL 24 INCHES.
 - THE CONTRACTOR SHALL REMOVE ANY BEDROCK ENCOUNTERED TO A DEPTH OF 24 INCHES.
 - WITH THE SUPERVISION AND DIRECTION OF THE PROFESSIONAL GEOLOGIST, THE CONTRACTOR SHALL CONSTRUCT A SOIL MANTLE BETWEEN THE REMAINING BEDROCK AND THE BOTTOM OF THE PROPOSED STORMWATER BMP TO A DEPTH OF 24 INCHES.
 - THE COMPOSITION, COMPACTION AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROFESSIONAL GEOLOGIST.

SANITARY SEWER NOTES

- MINIMUM OF 4' OF COVER IS REQUIRED OVER ALL SEWER LINES. THE SEWER MAIN SHALL BE CONSTRUCTED TO THE LINE AND GRADE SHOWN ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" PER THE AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN FILE RECORDS OF THE LOCATION AND DEPTH OF ALL SANITARY SEWER LATERAL LOCATIONS AND SHALL PROVIDE THIS INFORMATION TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.
- A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN ALL WATER AND SEWER LINES. IF THIS CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASEMENT SHALL BE PROVIDED.
- ALL SANITARY SEWER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUNICIPAL SEWER AUTHORITY CONSTRUCTION SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- 95% STANDARD PROCTOR FILL COMPACTION IS REQUIRED FOR ALL SANITARY SEWER FACILITIES LOCATED IN SOIL MATERIAL. TESTING MUST BE IN ACCORDANCE WITH THE APPROPRIATE AASHTO AND ASTM STANDARDS.
- ALL SANITARY SEWER MANHOLES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL HAVE THE MANHOLE CONE SECTION ROTATED TO MINIMIZE IMPACTS WITHIN THE VEHICLE WHEEL PATHS.
- ALL CLEAUNOTS & SANITARY MANHOLES LOCATED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING TOPS.
- ALL PROPOSED SANITARY SEWERS WILL BE OFFERED FOR DEDICATION TO THE MUNICIPAL AUTHORITY.
- A MINIMUM OF 0.1 FEET OF FALL SHALL BE PROVIDED THROUGH ALL SANITARY SEWER MANHOLES.
- ALL SANITARY SEWERS AND APPURTENANCES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH AUTHORITY REQUIREMENTS.
- ANY SEWER CLEANOUTS IN PAVED AREAS NEED TRAFFIC RATED FRAMES AND COVERS.

WATER SERVICE NOTES

- 95% FILL COMPACTION IS REQUIRED FOR ALL WATER DISTRIBUTION FACILITIES LOCATED IN FILL MATERIAL.
- THE CONSTRUCTION OF WATER AND SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH PA DEP REGULATIONS RELATED TO HORIZONTAL AND VERTICAL SEPARATION.
- ALL WATER AND SEWER LINES SHALL BE SET TO THE DESIGN GRADE OR LESS OTHERWISE NOTED.
- ALL POTABLE WATER PIPE LINES SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET. POTABLE WATER AND SANITARY SEWER LINE CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES OR A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. IF THESE CLEARANCES CANNOT BE MET, THE WATER LINE JOINTS MUST HAVE FERNO COUPLINGS INSTALLED FOR TEN (10) LINEAL FEET ON EACH SIDE OF THE CROSSING. IF THE POTABLE WATER PASSES BEHIND THE WATER SANITARY SEWER, NO MATTER HOW MUCH CLEARANCE, THE POTABLE WATER JOINTS MUST HAVE FERNO COUPLINGS INSTALLED FOR TEN (10) LINEAL FEET ON EACH SIDE OF THE CROSSING.

STORMWATER BMP SPECIFICATIONS

SITE PREPARATION:

- AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENTS AND STRUCTURAL WORK SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED.
- CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED NO STEEPER THAN 3:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF AN EMBANKMENT.
- AREAS TO BE COVERED BY THE BMP'S WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, FENCE POSTS, DEBRIS AND OTHER OBSTRUCTION. THIS IS TO MEET THE DESIGN REQUIREMENTS ON THE PLANS.
- TREES, BRUSH, STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE FOR PCSM BMP'S. A MINIMUM OF 25 FEET RADIUS AROUND THE INLET STRUCTURE SHALL BE CLEARED.
- ALL CLEARED AND GRUBBED MATERIALS SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE RESERVOIR AS DIRECTED BY THE OWNER OR REPRESENTATIVE.
- WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILES IN A SUITABLE LOCATION FOR THE USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

EARTH FILL - MATERIAL & PLACEMENT:

- FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE MATERIALS.
- FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CL-ML OR CL AND MUST HAVE AT LEAST 30% PASSING THE 200 SIEVE CONSIDERATION GIVEN TO THE USE OF SUBSTITUTE MATERIALS WHEN APPROVED BY AND SUPERVISED BY THE PROFESSIONAL GEOLOGIST.
- MATERIAL USED FOR THE CENTER SILL OF THE EMBANKMENT MUST HAVE THE CAPACITY TO SUPPORT THE EROSION OF THE QUALITY REQUIRED TO PREVENT EROSION OF THE EMBANKMENT.
- AREAS WHERE FILL IS TO BE PLACED, MUST BE SCARIFIED PRIOR TO THE PLACEMENT OF THE FILL.
- FILL SHALL BE PLACED IN 6" LIFTS BEFORE COMPACTION WHICH ARE TO BE CONTINUOUS OVER THE LENGTH OF THE FILL.
- THE MOST PERMEABLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT.
- THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION:

- THE MOVEMENT, HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRANSVERSED BY NOTE LESS THAN ON TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A VIBRATORY ROLLER.
- THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT UTILIZED.
- WHEN REQUIRED BY THE REVIEWING AGENCIES, THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF THE MAXIMUM DENSITY WITH A MOISTURE CONTENT OF + OR - 2% OF THE DESIGN. EACH 6" LIFT OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY AND IS TO BE CERTIFIED AT THE TIME OF CONSTRUCTION FROM THE PROFESSIONAL. ALL COMPACTION IS TO BE DETERMINED USING AASHTO T-99 STANDARD PROCTOR.

RIP RAP AND CONCRETE STRUCTURES:

ALL CONCRETE STRUCTURES AND RIP RAP SHALL MEET THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408.

CONTRACTOR NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED EXISTING LANDSCAPE AND/OR SITE FEATURES WHICH ARE TO REMAIN.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO BUILDING STAKEOUT, CONTRACTOR SHALL VERIFY DIMENSIONS SET FORTH ON LATEST ARCHITECTURAL PLANS.
- ALL CONSTRUCTION TO CONFORM TO THE MUNICIPAL AND/OR COUNTY ORDINANCES AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL STANDARDS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING AND SHORING, IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. MAINTENANCE AND PROTECTION OF TRAFFIC ALONG THE EXISTING ROADS NEIGHBORING THE PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL M & P PLANS AND PROCEDURES SHALL BE IN ACCORDANCE WITH TOWNSHIP AND/OR PENNDOT STANDARDS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ALL EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO SLD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF WORK.
- DIMENSIONS AND GEOMETRY SHOWN ON THIS PLAN SHALL BE VERIFIED DURING STAKE-OUT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON THESE PLANS AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND A MINIMUM SLOPE ON ALL GRASS AREAS.
- CONTRACTOR TO TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. SLD MAKES NO GUARANTEE THAT THE EXISTING UTILITIES ARE EXACTLY AS SHOWN.
- CONTRACTOR SHALL VERIFY TO THEIR SATISFACTION, THE FINAL EARTHWORK NUMBERS PRIOR TO COMMENCEMENT OF SITE WORK. SLD MAKES NO GUARANTEE THAT ON SITE SOILS WILL BE SUITABLE FOR STRUCTURAL, OR THAT THE EARTHWORK WILL BALANCE. CONTRACTOR AGREES TO PAY FOR THE ACTUAL EARTHWORK NUMBERS ENCOUNTERED DURING CONSTRUCTION.
- ALL DIMENSIONS IN AREAS OF PROPOSED CURBING ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- IN THE CASE OF DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- FAILURE TO SPECIFICALLY IDENTIFY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY APPURTENANCES AS NECESSARY TO MATCH PROPOSED GRADES UNLESS OTHERWISE NOTED.
- CURB AND PAVEMENT SHALL BE INSTALLED IN A MANNER AS TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
- FAD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH HORIZONTALLY AND VERTICALLY FROM THE EXISTING TO PROPOSED PAVING SECTIONS.
- ALL UNSUITABLE MATERIAL WITHIN STRUCTURAL FILL AREAS MUST BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND/OR THE TOWNSHIP.
- WHERE IT IS NECESSARY TO CONNECT TO OR EXTEND TO EXISTING PAVING, SAW CUT THE EXISTING EDGE OF PAVEMENT AND MILL AND OVERLAY AT THE POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE.
- ALL HANDICAPPED RAMPS, SIDEWALKS, AND HANDICAPPED PARKING SPACES MUST MEET ALL APPLICABLE ADA REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ADA COMPLIANCE PRIOR TO PLACEMENT OF PAVING OR CONCRETE.
- ITEMS WHICH ARE REFERENCED AND NOT SPECIFICALLY DETAILED SHALL BE SELECTED BY THE OWNER OR DESIGNER AS DIRECTED.
- A LICENSED PROFESSIONAL GEOLOGIST, SLD AND THE MUNICIPALITY SHALL BE CONTACTED UPON THE DISCOVERY OF ANY SINKHOLES. ANY SINKHOLE REMEDIATION MUST BE DONE IN ACCORDANCE WITH THE DIRECTION OF THE PROFESSIONAL GEOLOGIST.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SUBSURFACE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. SLD MAKES NO GUARANTEE THAT ON SITE SOILS WILL BE SUITABLE FOR STRUCTURAL, OR THAT THE EARTHWORK WILL BALANCE. CONTRACTOR AGREES TO PAY FOR THE ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.
- ALL UNSUITABLE MATERIAL WITHIN STRUCTURAL FILL AREAS MUST BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND/OR THE MUNICIPALITY.
- TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GRASSING TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER. ALL TOPSOIL PLACEMENT MUST BE A MINIMUM OF 6 INCHES MINIMUM.

POST CONSTRUCTION STORMWATER BMP MAINTENANCE & CRITICAL STAGES OF CONSTRUCTION

BMP ID	INSPECTION FREQUENCY	MAINTENANCE RESPONSIBILITY	Critical Stages of Inspection	Maintenance Procedure
SUBSURFACE INFILTRATION BED BMP 6.4.3	TWICE EACH YEAR (MIN.)	OWNER	<p>THE FOLLOWING STAGES OF CONSTRUCTION SHALL BE OBSERVED BY A DESIGN PROFESSIONAL:</p> <ol style="list-style-type: none"> 1. OBSERVATION AND VERIFICATION OF EXCAVATION AREA PER THE PLANS. 2. FLUSH THE ENTIRE PIPE SYSTEM, BY ACCESSING CONNECTING INLETS AND CLEANOUTS. 3. REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS IN ACCORDANCE WITH MUNICIPAL AND STATE REGULATIONS. 4. INSPECT THE OUTLET STRUCTURES. IF DAMAGE IS EVIDENT AT THE OUTLET STRUCTURE ORIFICE PLATE, REPAIR OR REPLACE OUTLET STRUCTURE PLATE PER THE PLAN DETAILS. 5. ALL ACCUMULATED DEBRIS & TRASH SHALL BE DISPOSED OF IN ACCORDANCE WITH RECYCLING AND DISPOSAL NOTES. 	<p>1. UNDERGROUND DETENTION BASINS SHALL BE INSPECTED TWICE A YEAR, IN THE SPRING AND FALL, AS NEEDED INTERMITTENTLY AND AFTER EACH MAJOR STORM EVENT.</p> <p>2. FLUSH THE ENTIRE PIPE SYSTEM, BY ACCESSING CONNECTING INLETS AND CLEANOUTS.</p> <p>3. REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS IN ACCORDANCE WITH MUNICIPAL AND STATE REGULATIONS.</p> <p>4. INSPECT THE OUTLET STRUCTURES. IF DAMAGE IS EVIDENT AT THE OUTLET STRUCTURE ORIFICE PLATE, REPAIR OR REPLACE OUTLET STRUCTURE PLATE PER THE PLAN DETAILS.</p> <p>5. ALL ACCUMULATED DEBRIS & TRASH SHALL BE DISPOSED OF IN ACCORDANCE WITH RECYCLING AND DISPOSAL NOTES.</p>

CLIENT: SMITH LAND & IMPROVEMENT CORP. 1810 MARKET STREET CAMP HILL, PA 17011 717-731-0207	PROJECT: REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN FORD TRUCK CENTER NOTES CUMBERLAND COUNTY, PA LOWER ALLEN TOWNSHIP
DATE: DECEMBER 1, 2023	COMMENT: AS PER TOWNSHIP COMMENTS
REVISION 1	REVISION 1

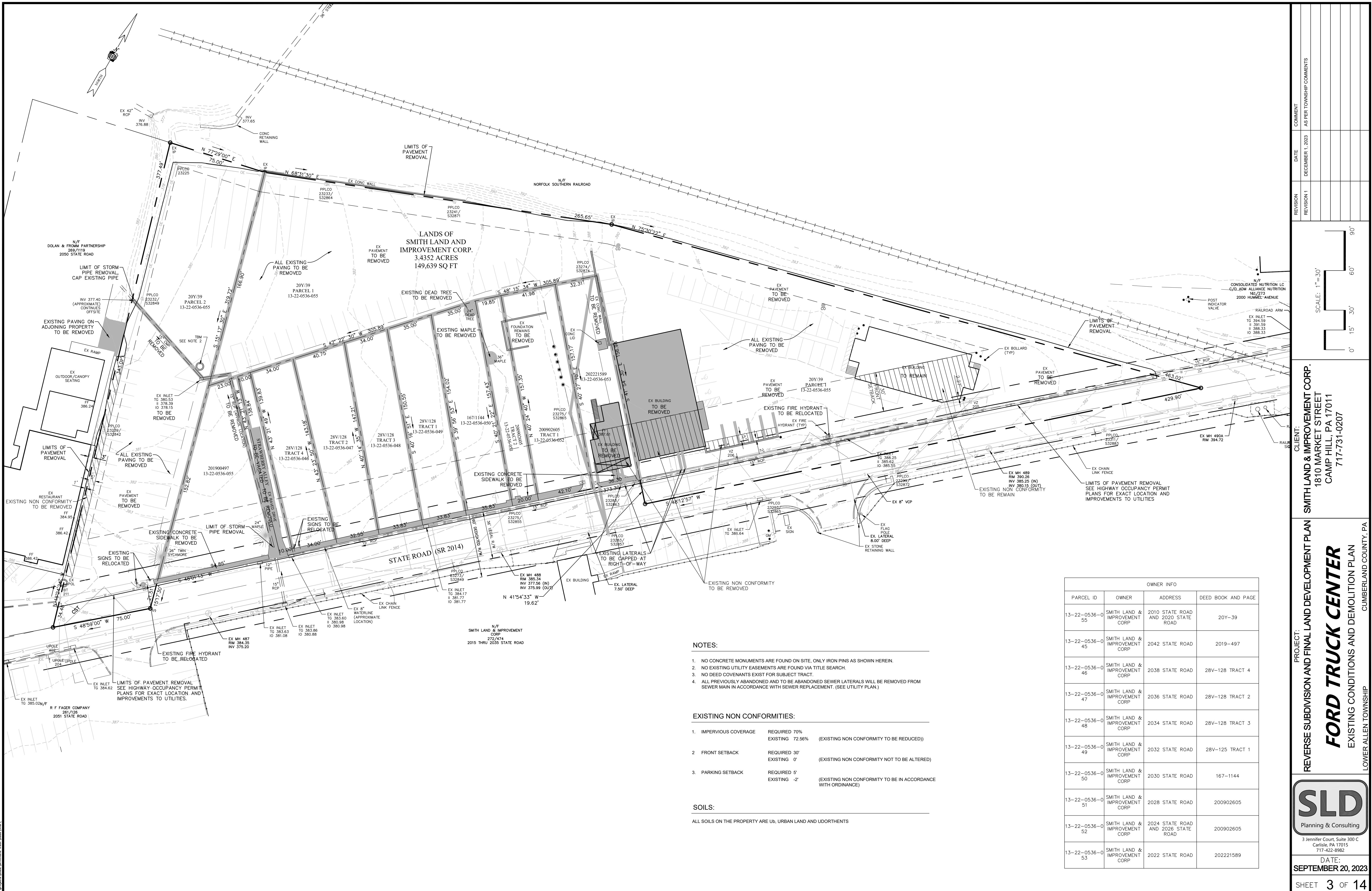
AS NOTED

REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN
FORD TRUCK CENTER
NOTES
CUMBERLAND COUNTY, PA
LOWER ALLEN TOWNSHIP

SLD
Planning & Consulting
3 Jennifer Court, Suite 300 C
Carlisle, PA 17015
717-422-8982

DATE:
SEPTEMBER 20, 2023

SHEET 2 OF 14



SLD

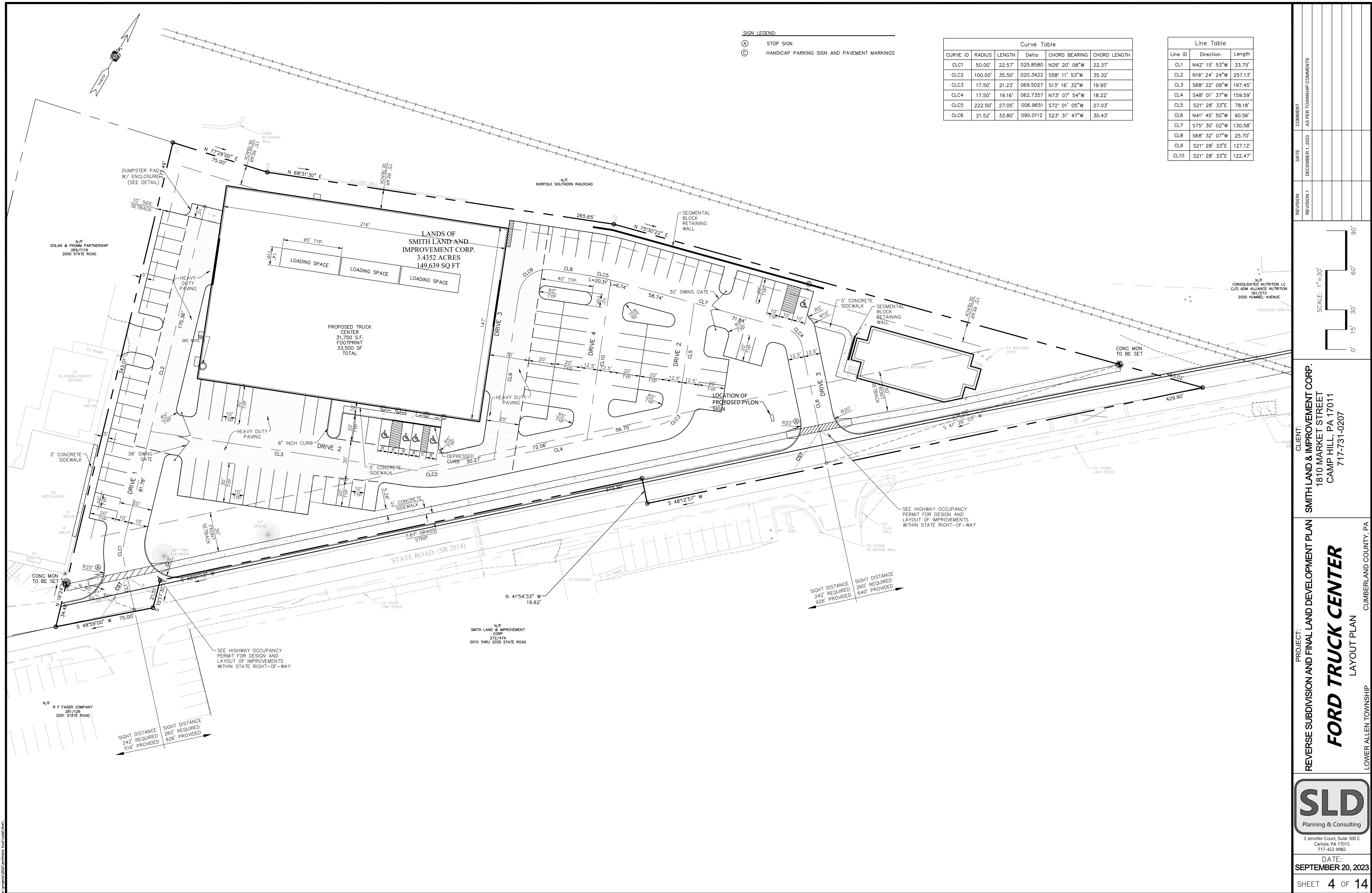
Planning & Consulting

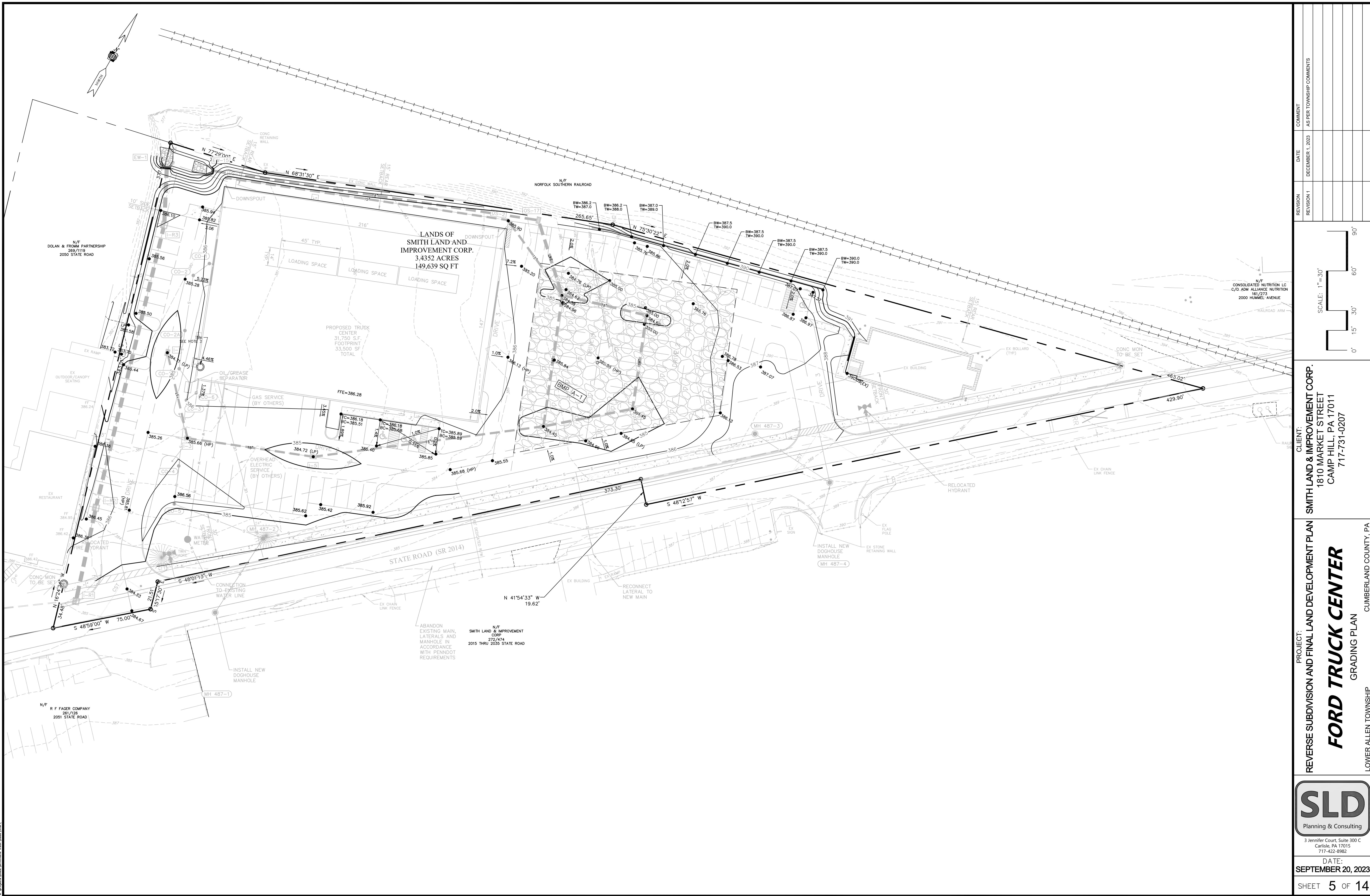
Carlisle, PA 17015
717-422-8982

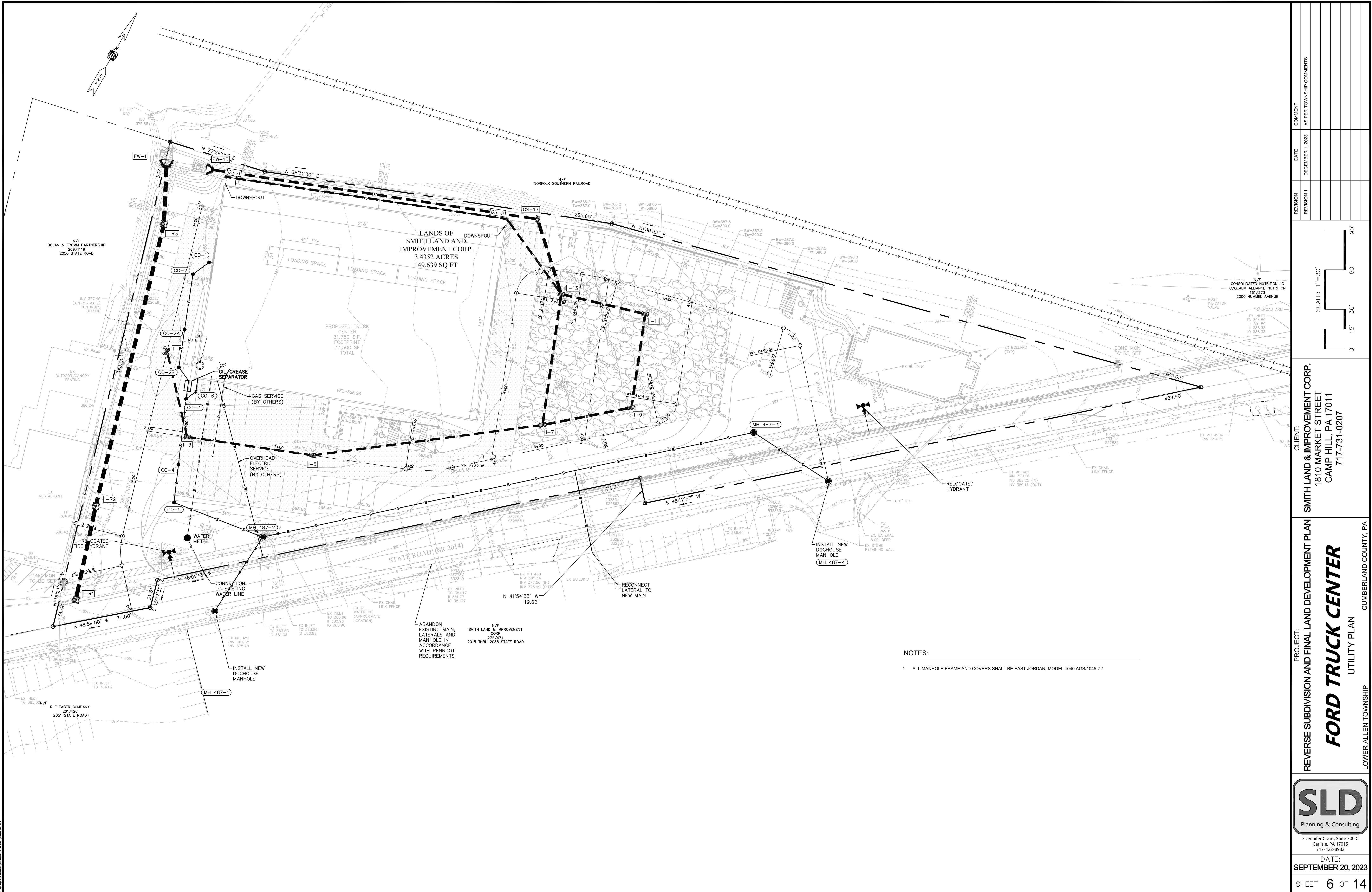
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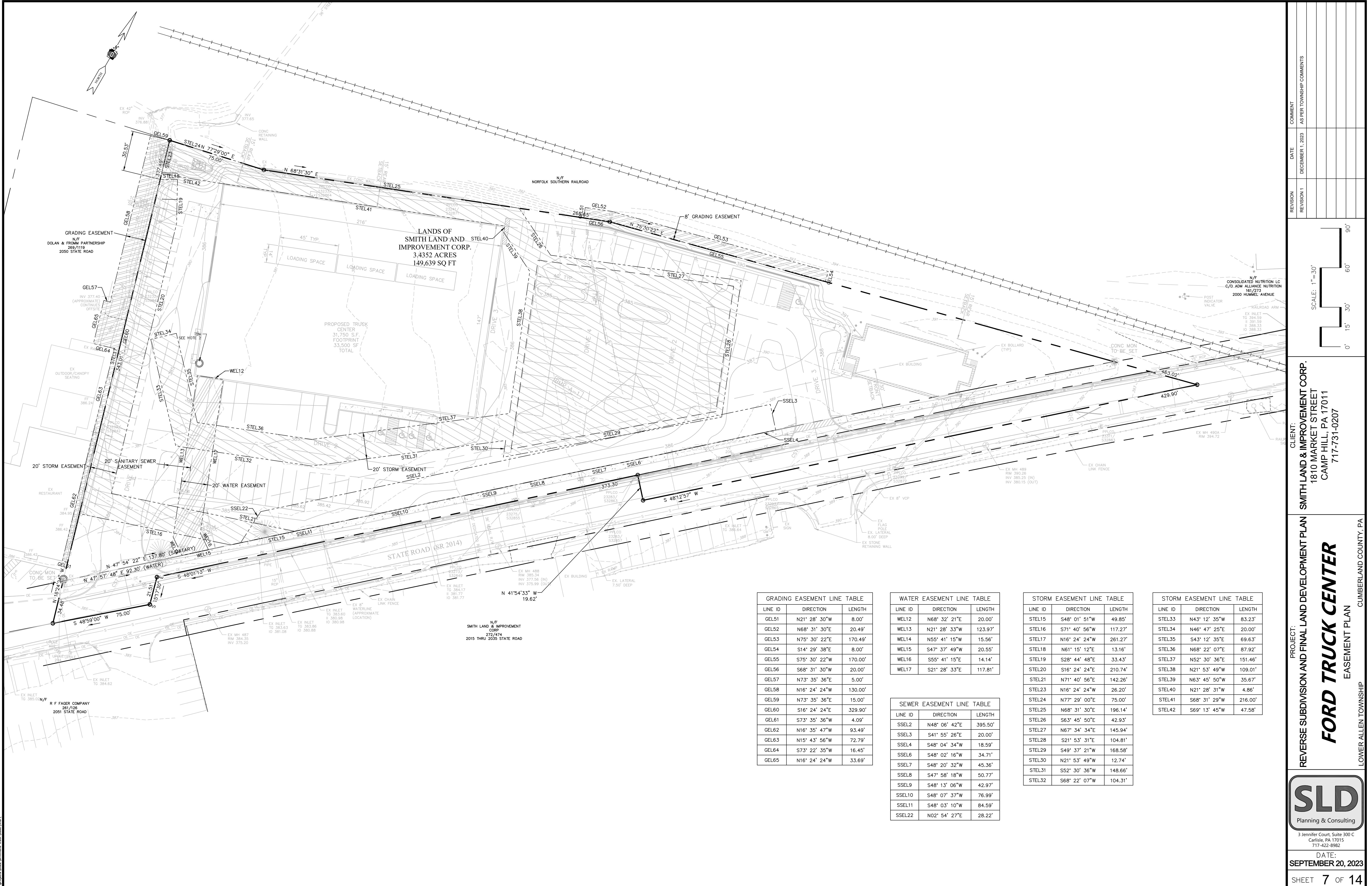
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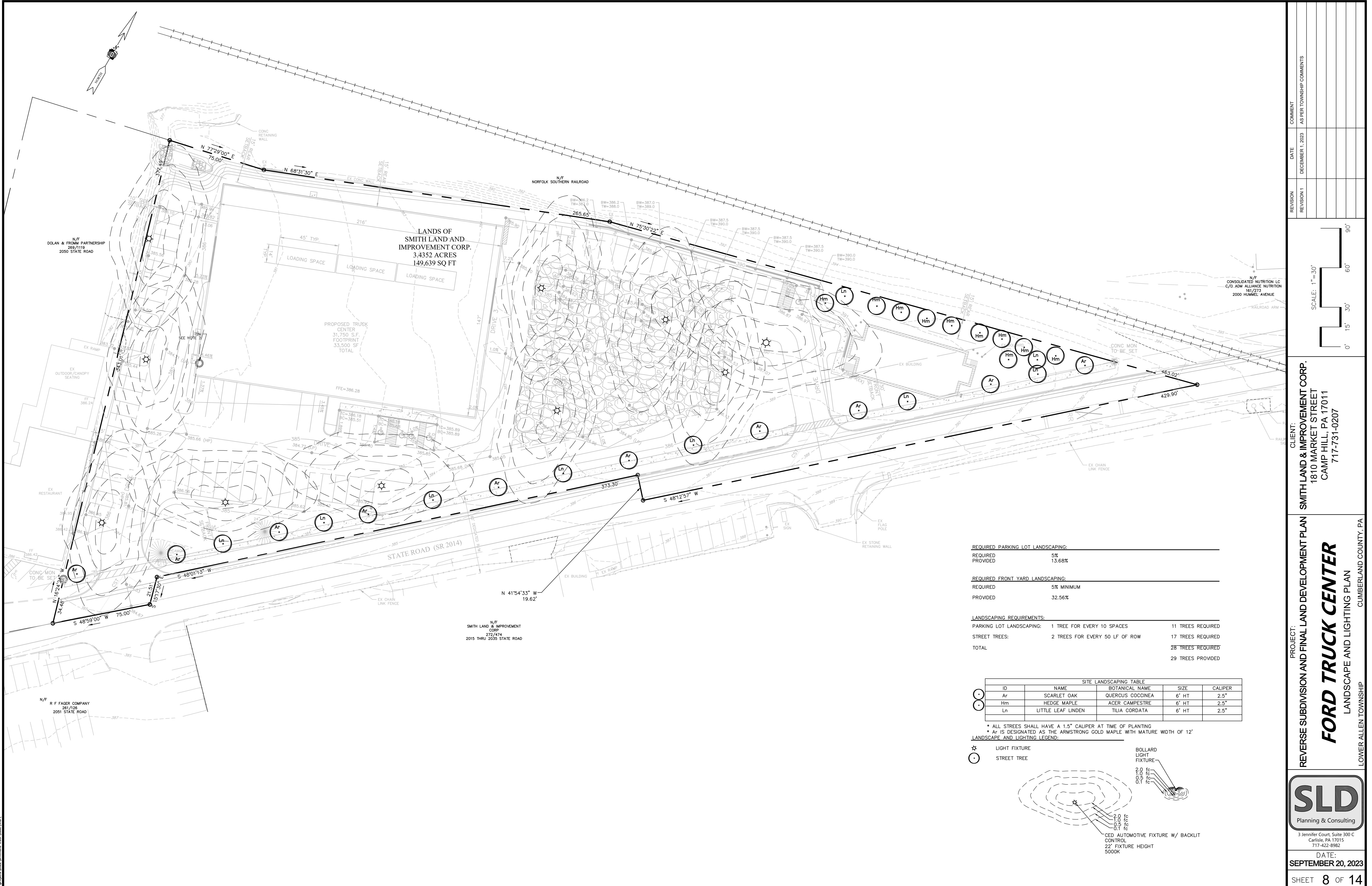


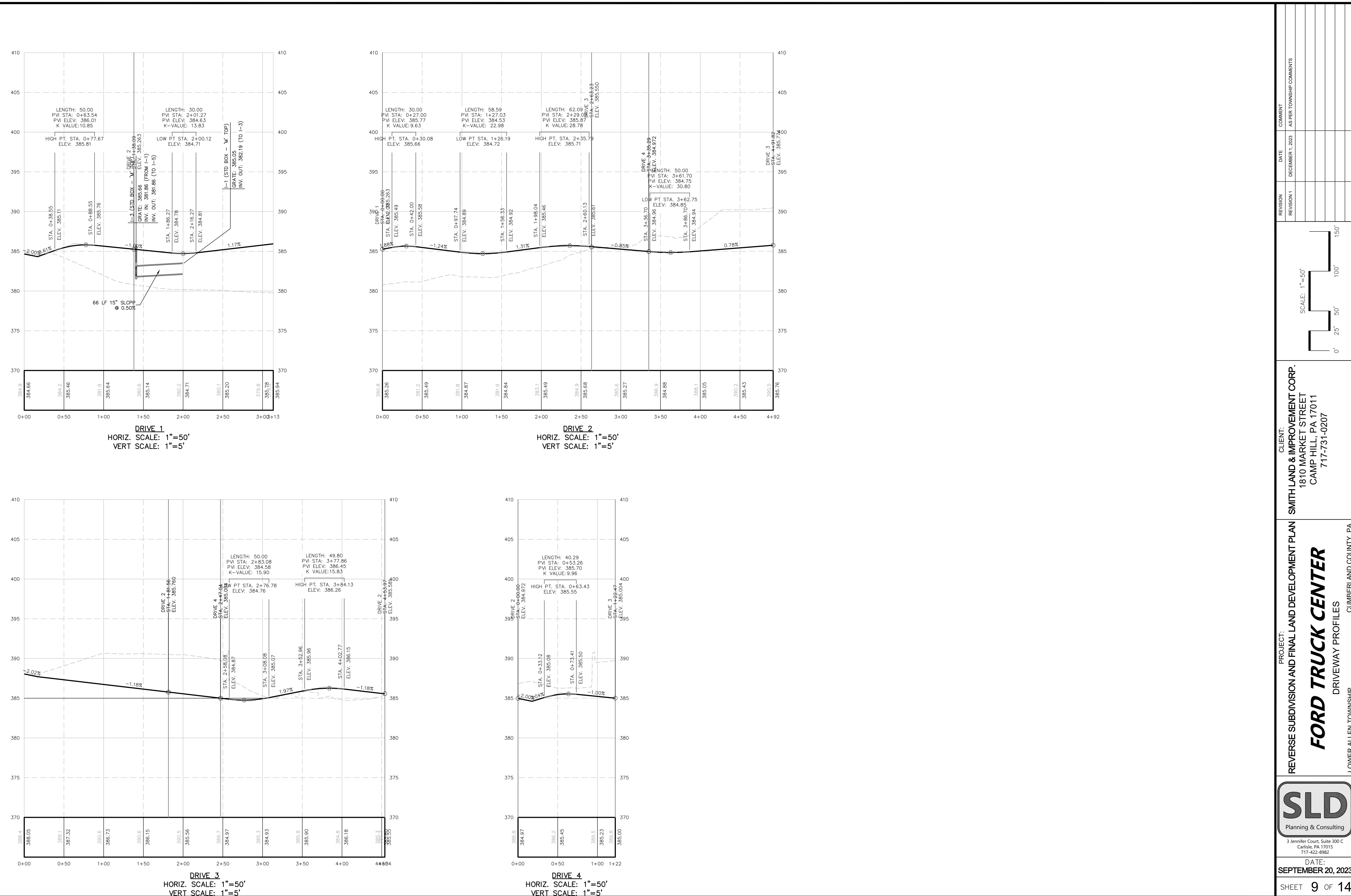
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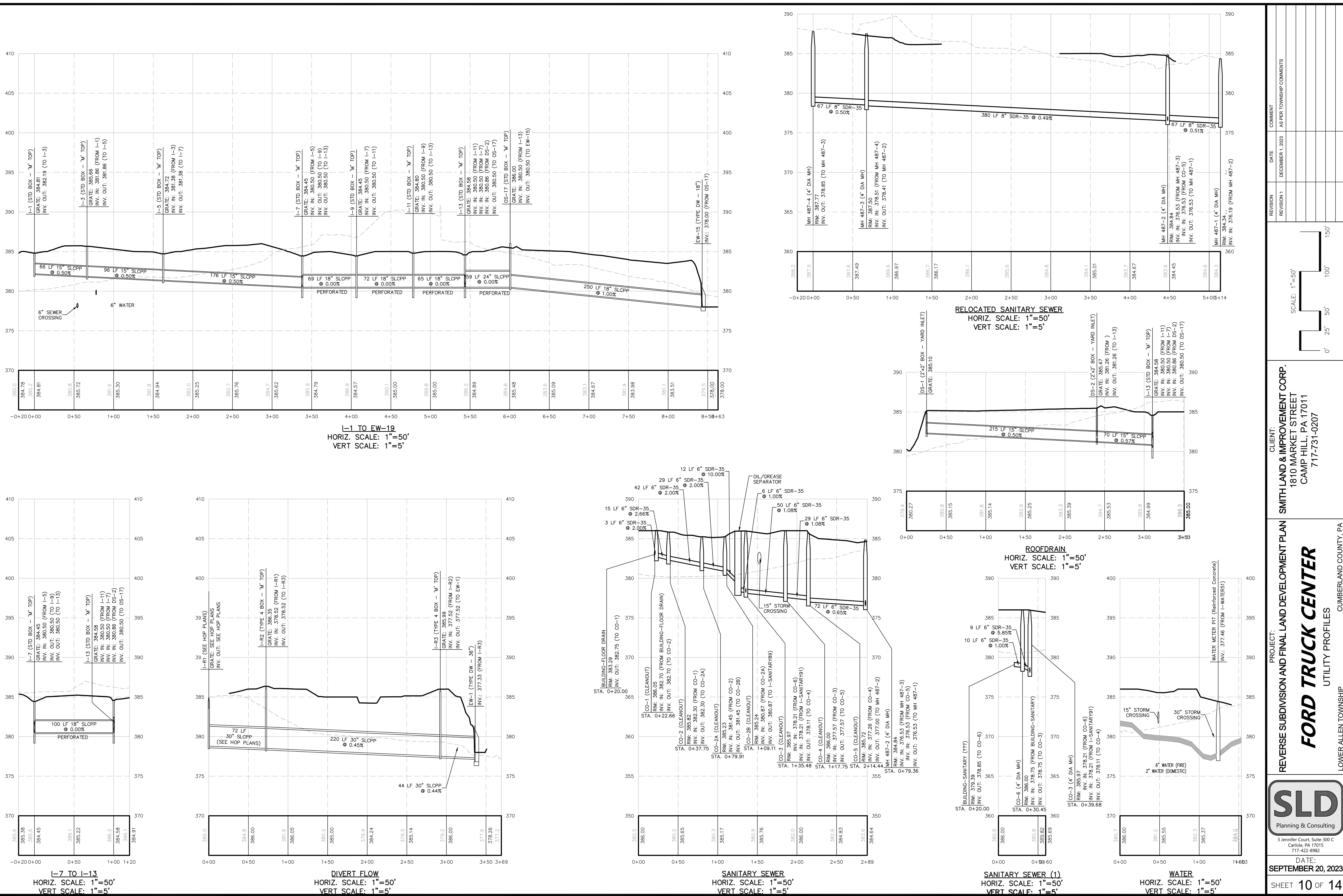
Jennifer Court, Suite 300 C
Carlisle, PA 17015

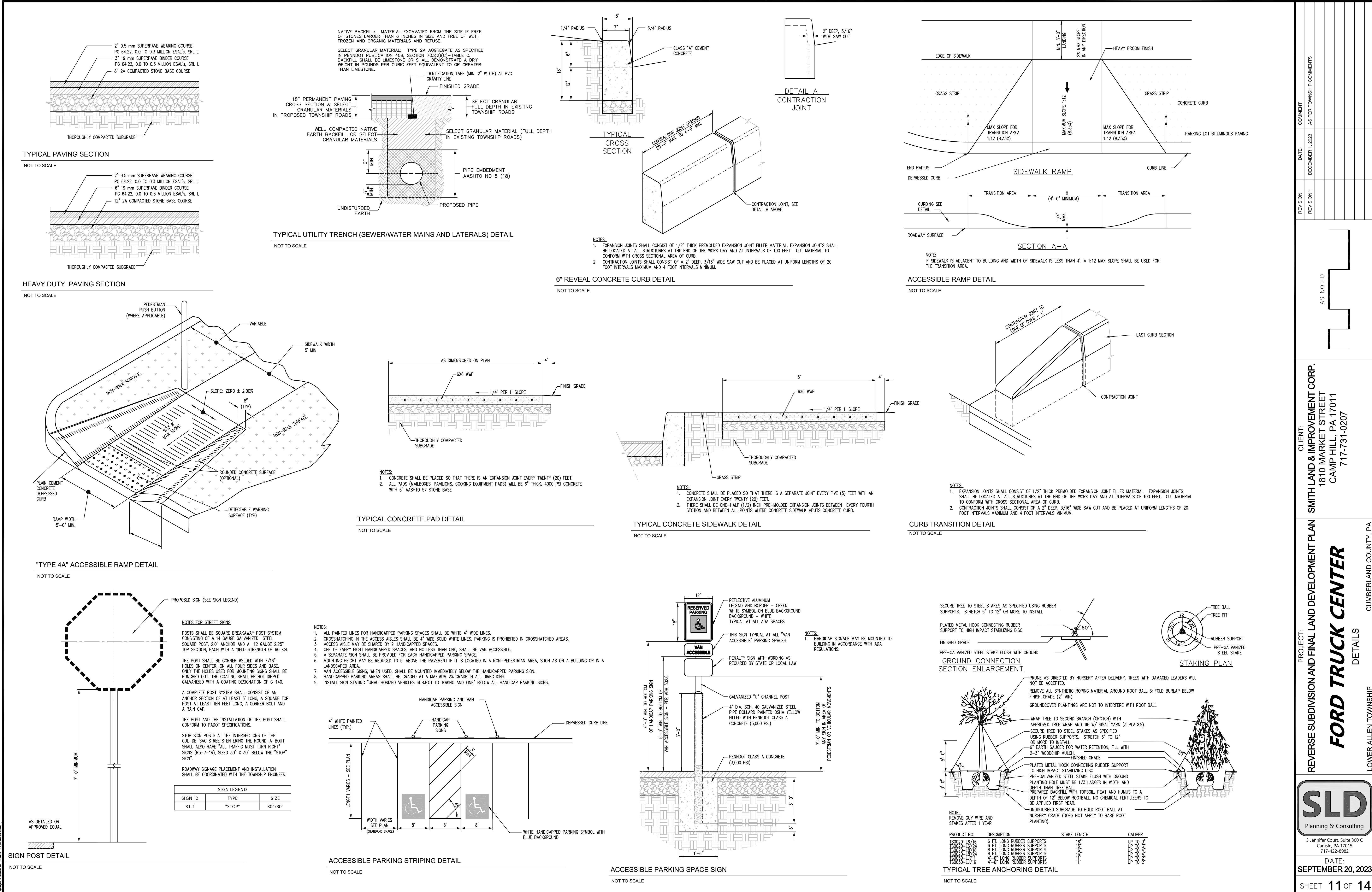
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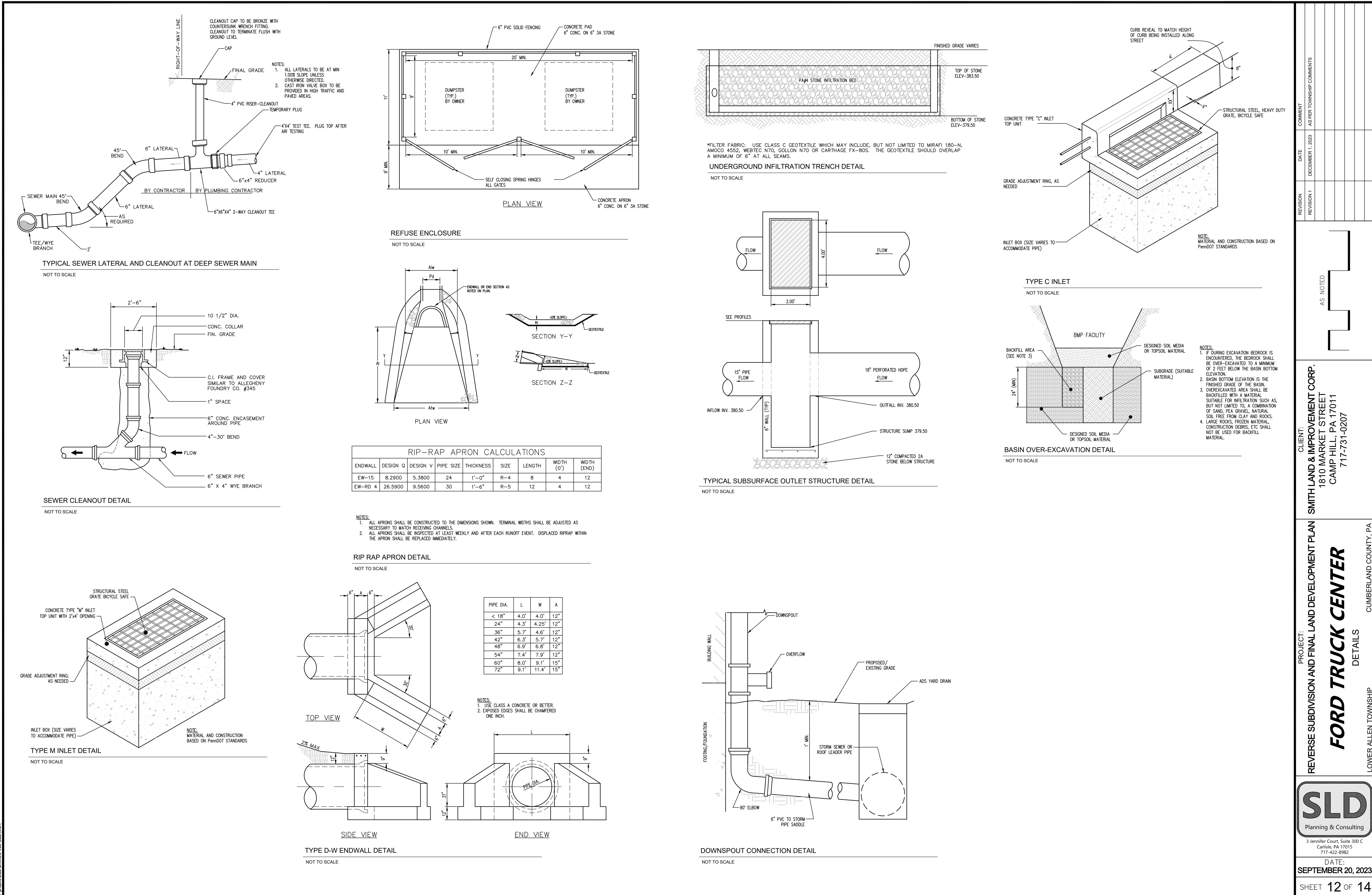
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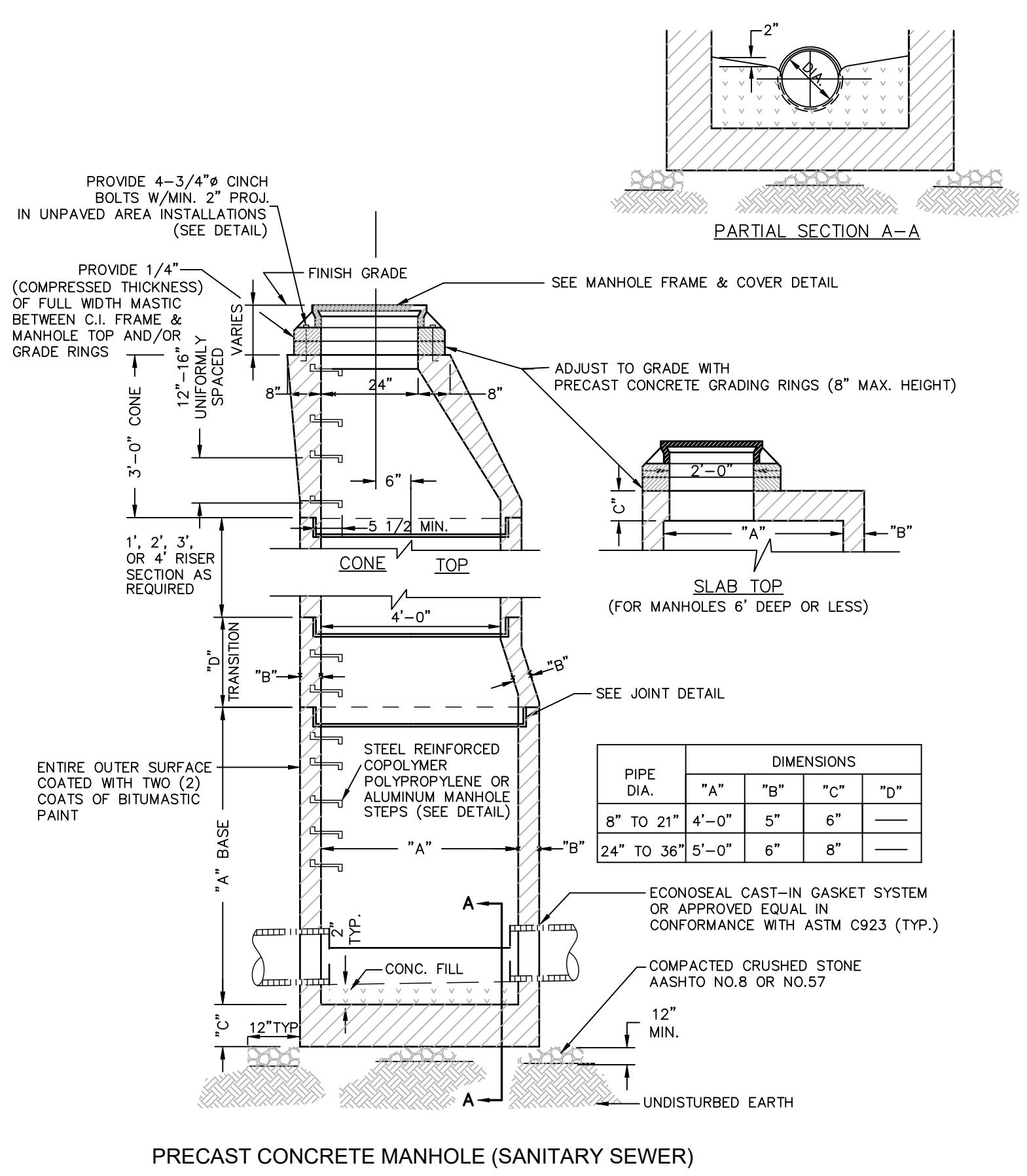






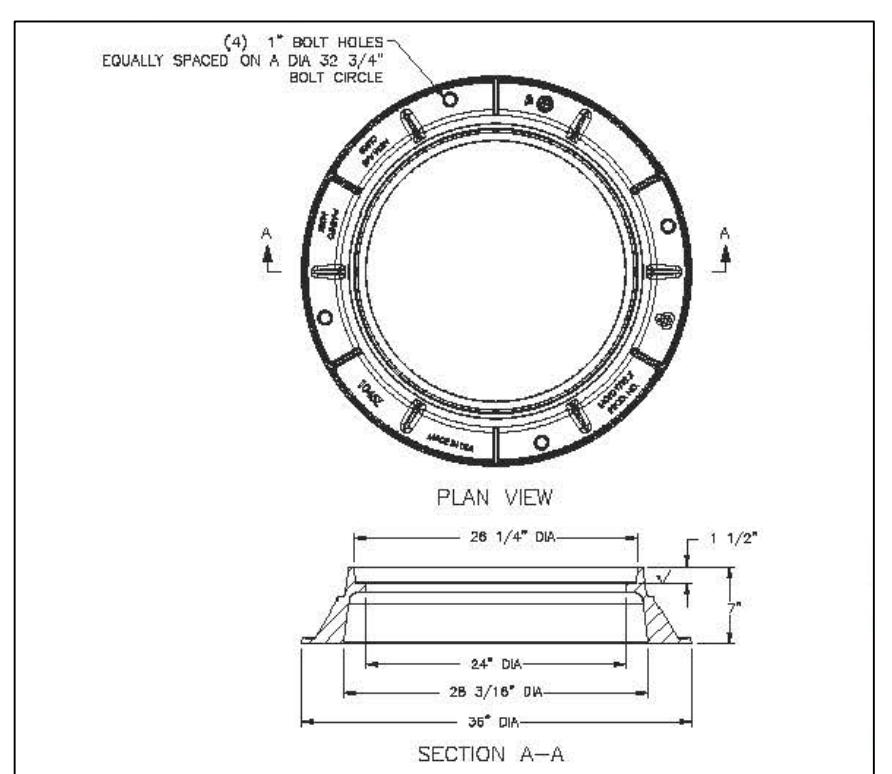






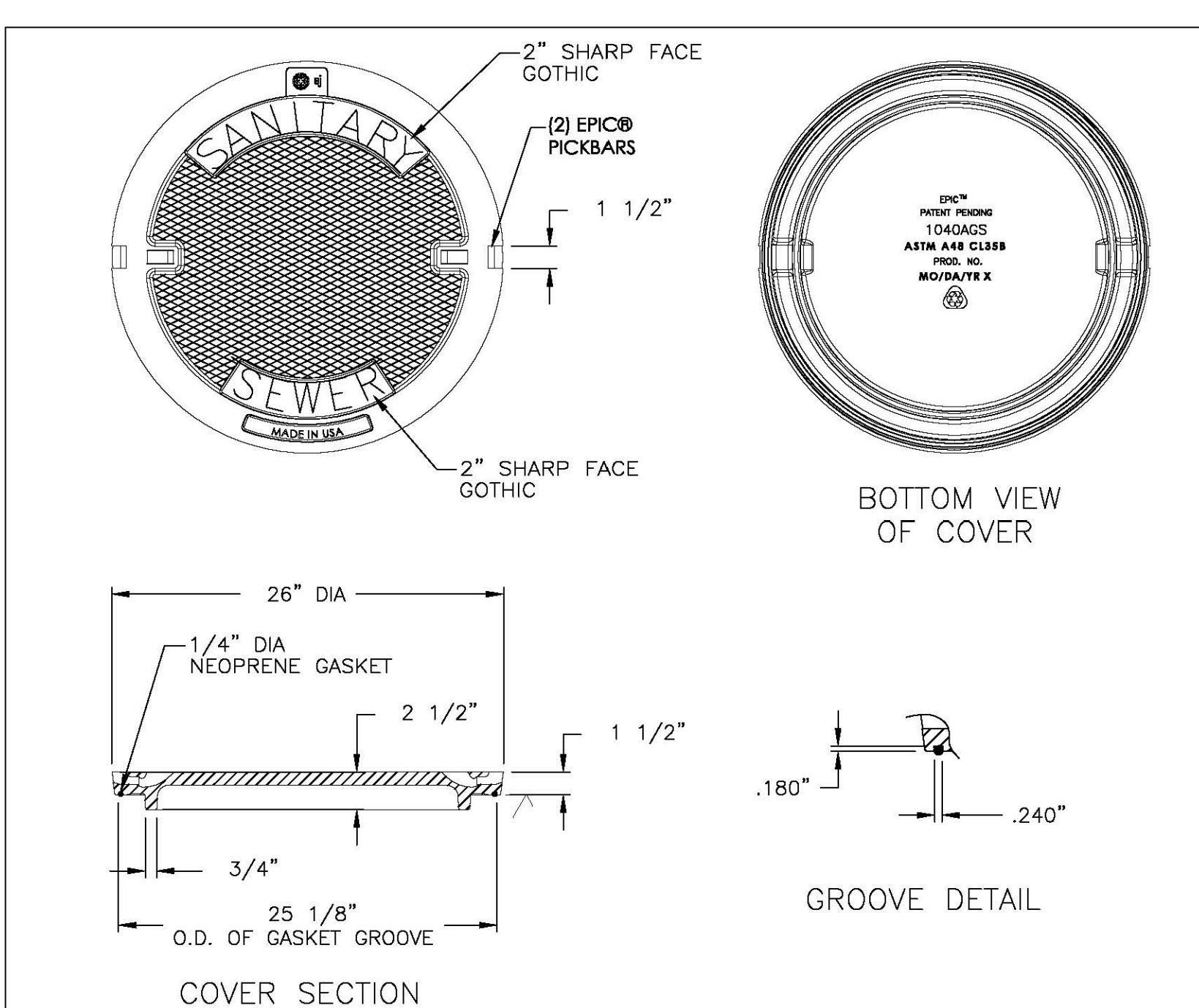
PRECAST CONCRETE MANHOLE (SANITARY SEWER)

NOT TO SCALE



SANITARY SEWER FRAME

NOT TO SCALE



PROJECT:	REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN		
CLIENT:	SMITH LAND & IMPROVEMENT CORP.		
	1810 MARKET STREET		
	CAMP HILL, PA 17011		
	717-731-0207		
PROJECT:	FORD TRUCK CENTER	DETAILS	CUMBERLAND COUNTY, PA
LOWER ALLEN TOWNSHIP			
SLD Planning & Consulting	3 Jennifer Court, Suite 300 C Carlisle, PA 17015 717-422-8982	DATE: SEPTEMBER 20, 2023	SHEET 13 OF 14

