

REVERSE SUBDIVISION & FINAL LAND DEVELOPMENT PLAN FOR FORD TRUCK CENTER

OWNER:

SMITH LAND & IMPROVEMENT CORPORATION
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

SOURCE OF TITLE

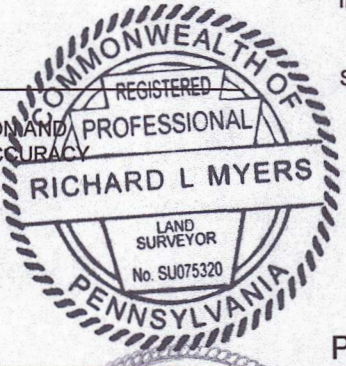
CUMBERLAND COUNTY TAX MAP
TAX MAP ID: 13-22-0536
PARCEL ID: 045, 046, 047, 048, 049, 050
051, 052, 053, 055
ADDRESS: 1010 - 1040 STATE ROAD
DEED REF: 201900497
0028V-00128
00157-001144
20050-0005
202221589
00204-00039

CERTIFICATE OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, ALL SURVEY INFORMATION AND COMPUTATIONS SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY LOWER ALLEN TOWNSHIP.

10/8, 2024

Richard L. Myers
PROFESSIONAL LAND SURVEYOR



CERTIFICATE OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CUMBERLAND COUNTY.

10/8, 2024

Mitchell A. Kemp
PROFESSIONAL ENGINEER SIGNATURE



STORMWATER MANAGEMENT PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE LOWER ALLEN TOWNSHIP STORM WATER MANAGEMENT ORDINANCE, AND THAT HAVE BEEN TO THE SITE ON JULY 26, 2023 FOR THE PURPOSES OF CONDUCTING A VISUAL SITE INSPECTION TO DETERMINE THE EXISTING GROUND COVER.

10/8, 2024

Mitchell A. Kemp
PROFESSIONAL ENGINEER SIGNATURE

CUMBERLAND COUNTY PLANNING COMMISSION CERTIFICATE

REVIEWED THIS 25th DAY OF October, 2023 BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

Paul Thomas
DIRECTOR OF PLANNING

LOWER ALLEN TOWNSHIP BOARD OF COMMISSIONERS CERTIFICATE OF MUNICIPAL APPROVAL

APPROVED BY THE BOARD OF COMMISSIONERS, LOWER ALLEN TOWNSHIP, CUMBERLAND COUNTY PA.

APPROVED THIS 8th DAY OF February, 2024

CONDITIONS OF APPROVAL COMPLETED THIS 18th DAY OF November, 2024

President: John W. Villone
Secretary: Thomas B. Vernice, Jr.

CERTIFICATE OF STORMWATER OWNERSHIP

I, Richard E. Jordan III, acknowledge the STORMWATER MANAGEMENT BMP'S AND FACILITIES TO BE PERMANENT FIXTURES THAT CAN ONLY BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

CERTIFICATE OF OWNERSHIP ACKNOWLEDGEMENT OF THE PLAN/ OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND

ON THIS, 10th DAY OF October, 2024, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED Richard E. Jordan III, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND SUBMITTED WITH THE FREE WILL AND CONSENT, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE WRITTEN.

OWNER SIGNATURE

OWNER SIGNATURE: Richard E. Jordan III

Commonwealth of Pennsylvania - Notary Seal
Crickel Gates, Notary Public
Cumberland County
My commission expires December 8, 2026
Commission number 1101431
Member, Pennsylvania Association of Notaries

RECORD INFORMATION

RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE

RECORDED THIS 8th DAY OF November, 2024

INSTRUMENT NO. 202403006

ZONING DATA

ZONING DISTRICT: I-3 INDUSTRIAL/COMMERCIAL
GROUNDWATER NON-USE OVERLAY DISTRICT

USE: PROPOSED TRUCK CENTER (PERMITTED USE)
EXISTING OFFICE USE (PERMITTED USE)
NAICS CATEGORY: (81) OTHER SERVICES
NAICS CODE: 81100 AUTOMOTIVE REPAIR & MAINTENANCE

UTILITY DATA:
SEWER
PUBLIC
WATER

MIN LOT SIZE	REQUIRED NOT REQ'D	EXISTING 130,335 SF NET 2.992 AC.	PROPOSED 130,335 SF NET 2.992 AC.
MAX BUILDING HEIGHT	75' MAX	25'	40'
IMPERVIOUS COVERAGE	70% MAXIMUM	94,572 SF 72.56%	94,524 SF 72.52%

SETBACKS:
FRONT 30' MINIMUM
REAR 35' MINIMUM
SIDE 15' MINIMUM (WHEN ABUTTING A RAILROAD)
10' MINIMUM

DENOTES REDUCTION OR ELIMINATION OF EXISTING NON-CONFORMITIES

PARKING REQUIREMENTS

PARKING REQUIREMENT:
TRUCK CENTER (3 SPACES FOR EVERY BAY)
COMMERCIAL PARTS AREA (1 SPACE/200 SF)
OFFICE (1 SPACE/200 SF)

TOTAL SPACES REQUIRED	104 SPACES
TOTAL SPACES PROVIDED	104 SPACES
ACCESSIBLE SPACES REQUIRED	5 SPACES
ACCESSIBLE SPACES PROVIDED	5 SPACES

OFF-STREET LOADING:
REQUIRED
PROVIDED
LOADING/UNLOADING SPACES CONTAINED WITHIN BUILDING

AIRPORT HAZARD ZONE REQUIREMENTS:

SECTION 220-20.2.B
USE RESTRICTIONS. NOTWITHSTANDING ANY OTHER PROVISIONS OF THIS CHAPTER, NO USE MAY BE MADE OF LAND OR WATER WITHIN ANY ZONE ESTABLISHED BY THIS CHAPTER IN SUCH A MANNER AS TO CREATE ELECTRICAL INTERFERENCE WITH NAVIGATIONAL SIGNALS OR RADIO COMMUNICATION BETWEEN THE AIRPORT AND AIRCRAFT, MAKE IT DIFFICULT FOR PILOTS TO DISTINGUISH BETWEEN AIRPORT LIGHTS AND OTHERS, RESULT IN CLARE IN THE EYES OF PILOTS USING THE AIRPORT, IMPAIR VISIBILITY IN THE VICINITY OF THE AIRPORT, CREATE BIRD STRIKE HAZARDS OR OTHERWISE IN ANY WAY ENDANGER OR INTERFERE WITH THE LANDING, TAKEOFF OR MANEUVERING OF AIRCRAFT INTENDING TO USE THE AIRPORT.

UNDERGROUND UTILITY PROTECTION ACT

IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 73 P.S. 176, AS AMENDED BY ACT 121 OF 2008, SLD PLANNING & CONSULTING AND/OR ITS ASSIGNS, HAS PERFORMED THE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN:

- PURSUANT TO 73 P.S. 176(2), SLD HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM NOT LESS THAN TEN (10) NOR MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED. IF SUCH INFORMATION WAS OBTAINED MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, SLD HAS STATED IN THE REQUEST THAT WORK IS PRELIMINARY.
 - PURSUANT TO 73 P.S. 176(3), SLD HAS SHOWN, UPON THESE DRAWINGS, THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY 73 P.S. 176(2), THE NAME OF THE FACILITY OWNER AND THE FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.
 - PURSUANT TO 73 P.S. 176(6), SLD HAS CALLED THE ONE CALL SYSTEM AND SHOWN AS PROOF, THE SERIAL NUMBER OF ONE CALL NOTICE AND THE TOLL-FREE NUMBER OF THE ONE CALL SYSTEM ON THE DRAWINGS NEAR THE SERIAL NUMBER.
 - IF, PURSUANT TO THE REQUIREMENTS OF 73 P.S. 176(2), SLD HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, SLD HAS INDICATED THAT THE REQUEST IS PRELIMINARY AND THE SERIAL NUMBER OF SAID REQUEST IS SHOWN ON THE DRAWINGS HEREIN.
- SLD DOES NOT REPRESENT, WARRANT, ASSURE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO THE ONE CALL SYSTEM REQUEST AND AS REFLECTED ON THESE DRAWINGS IS ACCURATE OR CORRECT. FURTHERMORE, SLD INCLUDES THE INFORMATION ONLY PURSUANT TO THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION ACT, AS AMENDED BY ACT 121 OF 2008.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. 20230900862

BY: WM A BRINDLE ASSOCIATES INC.

PA DOT/STREET NOTES

- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE STREET OR DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT AND THE PLANNING COMMISSIONS APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH PERMIT CAN BE ACQUIRED.
- DESIGN AND PLACEMENT OF TRAFFIC SIGNS SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN PADOT PUBLICATION 236, HANDBOOK OF APPROVED SIGNS, AND PADOT PUBLICATION 201, ENGINEERING AND TRAFFIC STUDIES.

REQUESTED WAIVERS

AT A MEETING HELD ON February 26, 2024, THE LOWER ALLEN TOWNSHIP BOARD OF SUPERVISORS VOTED TO APPROVE THE FOLLOWING WAIVERS/MODIFICATIONS:

SECTION 192-30 - PRELIMINARY PLAN REVIEW PROCEDURE
THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENTS OF THE PRELIMINARY PLAN PROCEDURE.

SECTION 195-57-09 - WIDENING
ALL WIDENING WILL BE PROVIDED IN ACCORDANCE WITH PENNDOT REQUIREMENTS.

FLOODPLAIN NOTE

BASED ON THE FEMA, FLOOD INSURANCE RATE MAP PANEL 42041C0281F, EFFECTIVE DATE SEPTEMBER 7, 2023, THE PROPERTY CONTAINS NO DELINEATED FLOODPLAIN AREAS.

WETLAND NOTE

BASED ON A SITE INVESTIGATION, NO WETLAND AREAS ARE PRESENT WITHIN THE LIMITS OF THE PROPERTY.

STORMWATER/ DRAINAGE NOTES

- ALL STORM SEWER PIPES SHALL BE SMOOTH LINE CORRUGATED PLASTIC PIPE UNLESS OTHERWISE NOTED. (ADS WT 12 PIPE, OR EQUIVALENT)
- CONSTRUCTION OF STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY AND LOCAL COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS.
- ALL STORM SEWER PIPES, CULVERTS, MANHOLES, INLETS AND ENDWALL SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT RC-34 STANDARDS.
- THE STORMWATER COLLECTION AND CONVEYANCE SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH DESIGN STANDARDS AND SPECIFICATIONS IN PLACE AT THE TIME OF PLAN APPROVALS. SLD ASSUMES NO RESPONSIBILITY FOR CHANGES IN SPECIFICATIONS THAT MAY OCCUR AFTER PLAN APPROVAL THAT WOULD REQUIRE ALTERNATE MATERIALS OR INSTALLATION REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL CURRENT STANDARDS AND NOTIFY THE OWNER/DEVELOPER AND SLD OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO THE START OF CONSTRUCTION.
- EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONS OF THE FACILITY OR EASEMENT IN ANY WAY.
- THE MUNICIPALITY WILL HAVE THE RIGHT TO ACCESS THROUGH EASEMENTS.
- WHERE ANY PART OF THE PROPOSED STORM DRAIN SYSTEM IS TO BE CONSTRUCTED WITHIN A FILL SECTION, THE CONTRACTOR SHALL COMPACT ALL SELECT FILL MATERIAL TO 95% OF ASTM D-698 (AASHTO T-99) WITH A MOISTURE CONTENT \pm 3% OF OPTIMUM UP TO THE PIPE BEDDING. REFER TO THE "STORMWATER MANAGEMENT CONSTRUCTION SPECIFICATIONS" FOR A DESCRIPTION OF SELECT FILL MATERIAL.
- ALL DOWNSPOUTS SHALL BE TIED INTO INLETS/STORM PIPING WITH CLEANOUTS.
- THE SUITABILITY OF THE BMP SUBGRADES SHALL BE FIELD VERIFIED BY THE TOWNSHIP ENGINEER AND SITE ENGINEER PRIOR TO COMPLETION OF THE BMP'S.

SINKHOLE REMEDIATION NOTE

ANY SINKHOLE OR POTENTIAL SINKHOLE ENCOUNTERED SHALL BE INSPECTED BY A PROFESSIONAL GEOLOGIST AND THE CONDITIONS SHALL BE ADDRESSED ON A CASE BY CASE BASIS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROFESSIONAL. SINKHOLE REPAIRS SHALL BE CONDUCTED IN ACCORDANCE WITH THE STANDARD INDUSTRY PRACTICES AND APPLICABLE REQUIREMENTS OF THE PLAN.

MUNICIPAL NOTES

- THE MUNICIPALITY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE, AND NO ALTERATION TO SWALES, OR BASINS, OR PLACEMENT OF STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS. THE TYPICAL STREET CROSS-SECTION IS IN ACCORDANCE WITH THE MUNICIPAL ORDINANCE. ALL STORMWATER PIPES, INLETS AND APPURTANCES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ARE THE RESPONSIBILITY OF THE DEVELOPER FOR MAINTENANCE.
- IT IS THE RESPONSIBILITY OF THE DEVELOPER FOR THE ELECTRICITY AND MAINTENANCE COSTS OF ALL STREET LIGHTS.
- ALL CONNECTIONS FOR STORMWATER PIPING SHALL BE WATERTIGHT.
- THE PURPOSE OF THIS PLAN IS TO COMBINE THE VARIOUS LOTS THROUGH A REVERSE SUBDIVISION AND CONSTRUCT A FORD TRUCK REPAIR CENTER.
- THE TOPOGRAPHIC SURVEY DATA IS BASED ON FIELD SURVEY BY WM A BRINDLE ASSOCIATES INC. PERFORMED ON APRIL 14, 2023.
- THE PROPERTY BOUNDARY DATA IS BASED ON FIELD SURVEY BY WM A BRINDLE ASSOCIATES INC. PERFORMED ON APRIL 14, 2023.
- A PA. ONE-CALL SYSTEM NOTIFICATION HAS BEEN MADE, SERIAL NO. 20230900862
- ALL WORK SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SPECIFICATIONS AND PUBLICATION 72, ROADWAY CONSTRUCTION STANDARDS, UNLESS OTHERWISE NOTED.
- WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 213.
- A RIGHT-OF-WAY PERMIT IS REQUIRED BEFORE STARTING ANY WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS. ALL PAVEMENT MARKINGS SHALL BE HOT THERMOPLASTIC. (LAND DEVELOPMENT PLANS)
- TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH ALL PENNDOT STANDARDS AND REGULATIONS IN EFFECT AT THE TIME OF
- ALL STORM DRAINAGE PIPE SHALL BE SMOOTH INTERIOR UNLESS OTHERWISE NOTED.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF SOIL EROSION CONTROL MEASURES, AS CONTAINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- MANHOLE COVERS FOR STORM MANHOLES SHALL BE CAST WITH THE WORD "STORM" FOR IDENTIFICATION PURPOSES.
- CONSTRUCTION OF ALL WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. PROVIDE A MINIMUM 48 HOURS NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
- CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION SITE MEETING WITH THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIME IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.
- NO PROPOSED COVENANTS ARE PROPOSED.
- A RECORD PLAN SHALL BE PROVIDED SHOWING RIGHTS-OF-WAY, EASEMENTS, LOT LINES, WATER, SEWER AND OTHER UTILITIES AND ALL PUBLIC IMPROVEMENTS.
- ALL APPROVED PCSM PLANS SHALL BE ONSITE THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES.

DEVELOPMENT SCHEDULE

START CONSTRUCTION APRIL 2024

END CONSTRUCTION DECEMBER 2024

- THE OWNER IS RESPONSIBLE TO PROVIDE AS-BUILT PLANS FOR ALL STORMWATER AMENITIES AND ANY EXPLANATION OF DISCREPANCIES TO BE SIGNED AND SEALED BY THE ENGINEER OF RECORD. THE TOWNSHIP HAS THE ABILITY TO CONDUCT A FINAL INSPECTION OF THE SITE AFTER RECEIPT OF THE AS-BUILT PLAN.
- THE PROPERTY OWNER SHALL EXECUTE A SWM BMP MAINTENANCE AND MONITORING AGREEMENT TO DECLARE THE OWNER TO BE THE OWNER AND PARTY RESPONSIBLE FOR MAINTENANCE AND MONITORING OF ALL STORMWATER BMP'S.
- ALL FLOOR DRAINS IN GARAGE AREA SHALL BE CONNECTED TO THE OIL/GREASE SEPARATOR AS SHOWN HEREIN.

MUNICIPAL STORMWATER O&M NOTE

IN ACCORDANCE LOWER ALLEN TOWNSHIP CODE, THE APPLICANT IS RESPONSIBLE FOR PREPARATION AND RECORDING OF AN OPERATIONS AND MAINTENANCE AGREEMENT FOR ALL STORMWATER MANAGEMENT BMP'S. THIS AGREEMENT REQUIRES THE PCSM PLANS TO BE ATTACHED TO THE AGREEMENT AND RECORDING INSTRUMENT TO BE RECORDED WITH THE FINAL LAND DEVELOPMENT PLAN.

UTILITY NOTES

- ALL SANITARY SEWER MAINS, SANITARY SEWER FORCE MAINS, SANITARY SEWER LATERALS, WATER MAINS AND WATER LATERALS SHALL BE PROVIDED WITH METALLIC BACKED WARNING/LOCATION TAP 18" BELOW GROUND DIRECTLY ABOVE THE PIPE.
- EXISTING VALVES, RIMS, CLEANOUTS AND LIDS SHALL BE FIELD RESET TO PROPOSED GRADES.
- ANY DAMAGE TO THE UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ALL COSTS FOR REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM. OPEN TRENCHES SHALL BE COVERED WITH A STEEL PLATE WHEN WORK IS NOT IN PROGRESS. NO EXCAVATED AREAS ARE TO REMAIN OPEN.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE WHICH CAN BE COMPLETED THE SAME DAY. WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER MUST BE PUMPED THROUGH A FILTER BAG ON A STABLE SURFACE OR INTO A SEDIMENT CONTROL FACILITY.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, DISTURBED AREAS WILL BE GRADED TO THE FINAL CONTOURS. SEEDING AND MULCHING OF ALL DISTURBED AREAS MUST BE DONE IMMEDIATELY IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN.
- EXCAVATIONS OR TRENCHING WITHIN PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION TO PREVENT DAMAGE OR INTERRUPTION OF SERVICES. THE COST TO PROVIDE THE PROTECTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- OVER EXCAVATION OF UTILITY TRENCHES SHALL BE BACKFILLED WITH AASHTO #57 CRUSHED STONE.
- COMPACTION IN FILL AREAS BENEATH ALL PROPOSED UTILITIES AND STRUCTURES SHOULD MEET WITH MANUFACTURER AND TOWNSHIP REQUIREMENTS AND BE EQUAL TO THE MINIMUM 95% MODIFIED PROCTOR DENSITY.
- ALL PLASTIC PIPE SHALL BE INSTALLED WITH COPPER TRACE WIRE ABOVE THE PIPE NO LESS THAN 18" BELOW GROUND.

GEOLOGIC CONDITIONS:

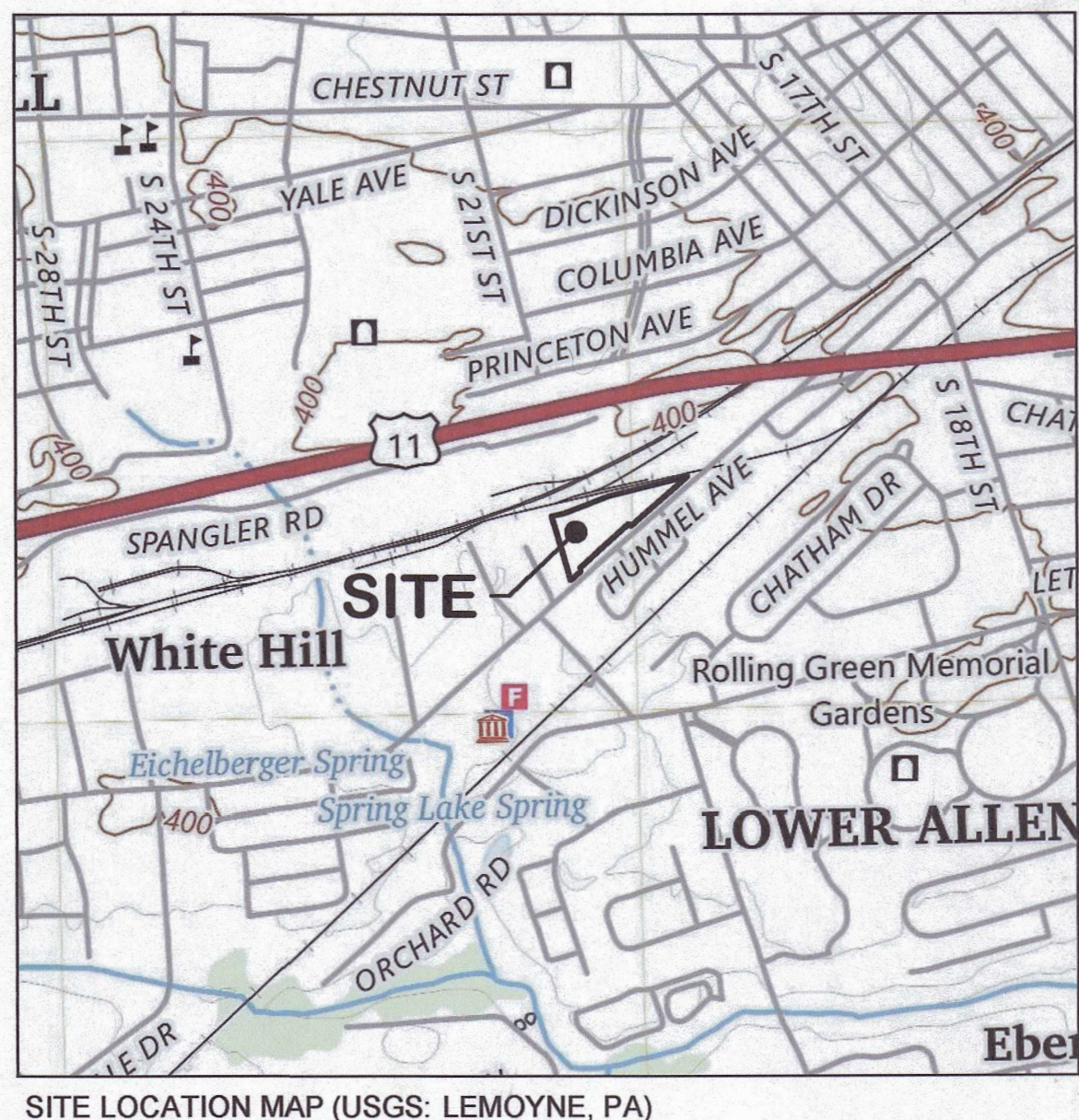
- SURFACE WATER SHALL NOT BE ALLOWED TO COLLECT OR POOL IN LOW LYING AREAS AND NEEDS TO BE DIRECTED TO APPROPRIATE STORMWATER CHANNELS. EXPEDIENT BACKFILLING OR GRADING OF LOW LYING AREAS WILL ALSO HELP MINIMIZE THE POTENTIAL FOR THE DEVELOPMENT OF SINKHOLES.
- THE BASES OF ALL FOUNDATION EXCAVATIONS MUST BE REVIEWED FOR UNUSUALLY SOFT OR WET SOIL CONDITIONS. ANY UNSTABLE AREAS ENCOUNTERED MUST BE FURTHER EXCAVATED AND REVIEWED BY THE GEOTECHNICAL ENGINEER TO DETERMINE THE EXTENT OF ANY SOLUTION ACTIVITY SO THAT REMEDIAL MEASURES CAN BE DESIGNED AND IMPLEMENTED.
- THE EXTENT OF EXCAVATIONS MUST BE KEPT TO A MINIMUM AND THE INFILX OF SURFACE WATER INTO EXCAVATIONS NEEDS TO BE MINIMIZED.
- POSITIVE DRAINAGE AWAY FROM THE PROPOSED STRUCTURES MUST ALWAYS BE MAINTAINED. ROOF DRAINS SHALL ALSO BE DIRECTED AWAY FROM THE STRUCTURE AND INTO DESIGNATED, STORM SEWER CONNECTIONS.
- STORM SEWER CONVEYANCE LINES SHALL BE CONSTRUCTED WITH WATERTIGHT JOINTS.
- UNPAVED AREAS, SWALES, AND/OR SURFACE/SUBSURFACE STORMWATER MANAGEMENT FACILITIES SHALL BE AVOIDED IMMEDIATELY ADJACENT TO BUILDING FOUNDATION AREAS.
- EXTERIOR BACKFILL AROUND FOUNDATIONS SHALL CONSIST OF FINE-GRAINED, ON-SITE SOILS, (I.E. CLAY) IN AN EFFORT TO LIMIT STORMWATER INFILTRATION IN FOUNDATION AREAS.

SIGNAGE:

- NO SIGNAGE IS PROPOSED WITHIN THIS PLAN. SIGNAGE WILL BE PROVIDED AND SUBMITTED WITHIN A SIGNAGE REPORT TO BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION.

SITE FEATURES LEGEND

EXISTING FEATURES	PROPOSED FEATURES
PROPERTY BOUNDARY	PROPERTY LINE
ADJOINING PROPERTY LINE	DRIVEWAY
ZONING BOUNDARY LINE	PAVING & SHOULDER
EASEMENT	BUILDING
BUILDING SETBACK	ROADWAY CENTERLINE
RIGHT-OF-WAY	BUILDING SETBACK
EDGE OF PAVEMENT	RIGHT-OF-WAY
ROADWAY SHOULDER	IRON PIN
ROADWAY CENTERLINE	CONCRETE MONUMENT
TREELINE	SIGN
SANITARY SEWER	2-FT CONTOUR
WATER MAIN	10-FT CONTOUR
OVERHEAD ELECTRIC	STORMWATER PIPE
STORM PIPING	SANITARY SEWER
2-FOOT CONTOUR	WATER LINE
10-FOOT CONTOUR	UNDERGROUND ELECTRIC
FLOODPLAIN BOUNDARY	STORMWATER INLET
FIRE HYDRANT	STORMWATER HEADWALL
SANITARY SEWER MANHOLE	WATER VALVE
SIGN	FIRE HYDRANT
UTILITY POLE	SEWER MANHOLE
TREE	SPOT ELEVATION
IRON PIN	RIP RAP APRON
CONCRETE MONUMENT	MATTING
WETLANDS	
STEEP SLOPE (15-25%)	
STEEP SLOPE (OVER 25%)	
TEST PIT LOCATION	



SITE LOCATION MAP (USGS: LEMOYNE, PA)

1" = 100'

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- EXISTING CONDITIONS AND DEMOLITION PLAN
- LAYOUT PLAN
- GRADING PLAN
- UTILITY PLAN
- EASEMENT PLAN
- LANDSCAPE AND LIGHTING PLAN
- DRIVEWAY PROFILES
- UTILITY PROFILES
- DETAILS
- DETAILS
- DETAILS
- TURNING TEMPLATES

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- EXISTING CONDITIONS AND DEMOLITION PLAN
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- UTILITY PROFILES
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- POST DEVELOPMENT DRAINAGE AREA MAP
- INLET DRAINAGE AREA MAP
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PROJECT: REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN
FOR
FORD TRUCK CENTER
COVER SHEET

CLIENT: SMITH LAND & IMPROVEMENT CORP.
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

COMMISSIONER: JENNIFER COURT, SUITE 300 C
CARLISLE, PA 17015
717-422-8982
DATE: SEPTEMBER 20, 2023
SHEET 1 OF 14

\\s01gpc01\2023\unpublished - final\0001 - final.dwg (1/24/23)

STORM CONVEYANCE NOTES

- ALL EMBEDMENT MATERIALS USED FOR BEDDING, HAUNCHING AND INITIAL BACKFILL FOR HDPE PIPE SHALL CONFORM TO AASHTO SECTION 30 AND ASTM D-2321 AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- CONTRACTOR IS TO MAKE ADJUSTMENTS AS NEEDED AT THE PIPE BELL JOINTS IN THE TRENCH CONSTRUCTION AND BACKFILL. REFER TO ADS TECHNICAL NOTE 3.115 FOR INSTALLATION SPECIFICATIONS.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE.
- THE EXISTING UTILITIES SHOWN HAVE BEEN DETERMINED AND REFERENCED BASED ON INFORMATION RECEIVED FROM THE UTILITY COMPANIES, SURVEYORS, VISITS TO THE SITE AND GENERAL BEST INFORMATION TO THE BEST OF SLD KNOWLEDGE. AT THE TIME OF DESIGN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776 A MINIMUM OF 3 DAYS PRIOR TO EXCAVATING OR WITH CAREFUL EXPLORATORY WORK. AT THE CONTRACTOR'S RISK, PRIOR TO CONSTRUCTION FOR THOSE PRIVATE LINES WHICH ARE NOT ABLE TO BE LOCATED THROUGH THE ONE CALL PROCESS. IT MAY BECOME NECESSARY IN THE FIELD TO ADJUST THE PROPOSED UTILITY LOCATION TO RESOLVE ANY UTILITY CROSSING CONFLICTS WHICH MAY OCCUR. SLD SHALL BE NOTIFIED IMMEDIATELY IF ANY SUCH CONFLICTS ARE ENCOUNTERED.
- ALL UTILITY ELEVATIONS ARE AT THE INVERT UNLESS OTHERWISE NOTED.

BMP COMPACTION NOTE

NO WHEELED VEHICLES ARE PERMITTED ON THE BMP BOTTOMS AFTER EXCAVATION. THE BMP BOTTOMS ARE ESSENTIAL FOR INFILTRATING WATER AND ONCE THE BMP IS EXCAVATED, THE BMP SHALL BE PROTECTED BY ORANGE CONSTRUCTION FENCING. NO WHEELED VEHICLES ARE PERMITTED, AND THE CONTRACTOR MUST DO ANY AND ALL WORK TO THE BMP BOTTOM FROM THE SIDE SLOPES OR USE TRACKED VEHICLES. THE BMP BOTTOM SHALL BE SCARIFIED OR TILED TO A DEPTH OF 9" PRIOR TO SEEDING APPLICATION.

LIMITING ZONE REMEDIATION NOTES

- THE CONTRACTOR SHALL PROBE THE SUBSOIL (VIRGIN CONDITIONS) BENEATH STORMWATER MANAGEMENT BMPs TO VERIFY THAT A MINIMUM OF 24 INCHES OF SOIL IS PROVIDED TO THE LIMITING ZONE IN ACCORDANCE WITH APPENDIX C OF THE PENNSYLVANIA STORMWATER BMP MANUAL.
- IF A DEPTH OF 24 INCHES TO THE EXISTING BEDROCK IS NOT PROVIDED, THE CONTRACTOR SHALL REMEDIATE THE SOIL MANTLE BELOW THE FACILITY IN ACCORDANCE WITH THE FOLLOWING PROCEDURE:
 - UNDER THE DIRECTION OF THE PROFESSIONAL GEOLOGIST, THE CONTRACTOR SHALL OVER EXCAVATE THE BOTTOM OF THE FACILITY AN ADDITIONAL 24 INCHES.
 - THE CONTRACTOR SHALL REMOVE ANY BEDROCK ENCOUNTERED TO A DEPTH OF 24 INCHES.
 - UNDER THE SUPERVISION AND DIRECTION OF THE PROFESSIONAL GEOLOGIST, THE CONTRACTOR SHALL CONSTRUCT A SOIL MANTLE BETWEEN THE REMAINING BEDROCK AND THE BOTTOM OF THE PROPOSED STORMWATER BMP TO A DEPTH OF 24 INCHES.
 - THE COMPOSITION, COMPACTION AND MATERIAL SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROFESSIONAL GEOLOGIST.

SANITARY SEWER NOTES

- MINIMUM OF 4' OF COVER IS REQUIRED OVER ALL SEWER LINES. THE SEWER MAIN SHALL BE CONSTRUCTED TO THE LINE AND GRADE SHOWN ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" PER THE AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN FIELD RECORDS OF THE LOCATION AND DEPTH OF ALL SANITARY SEWER LATERAL LOCATIONS AND SHALL PROVIDE THIS INFORMATION TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.
- A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN ALL WATER AND SEWER CROSSINGS. IF THIS CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASEMENT SHALL BE PROVIDED.
- ALL SANITARY SEWER IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUNICIPAL SEWER AUTHORITY CONSTRUCTION SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- 95% STANDARD PROCTOR FILL COMPACTION IS REQUIRED FOR ALL SANITARY SEWER FACILITIES LOCATED IN FILL MATERIAL. TESTING MUST BE IN ACCORDANCE WITH THE APPROPRIATE AASHTO AND ASTM STANDARDS.
- ALL SANITARY SEWER MANHOLES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL HAVE THE MANHOLE CONE SECTION ROTATED TO MINIMIZE IMPACTS WITHIN THE VEHICLE WHEEL PATHS.
- ALL CLEANOUTS & SANITARY MANHOLES LOCATED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING TOPS.
- ALL PROPOSED SANITARY SEWERS WILL BE OFFERED FOR DEDICATION TO THE MUNICIPAL AUTHORITY.
- A MINIMUM OF 0.1 FEET OF FALL SHALL BE PROVIDED THROUGH ALL SANITARY SEWER MANHOLES.
- ALL SANITARY SEWERS AND APPURTENANCES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH AUTHORITY REQUIREMENTS.
- ANY SEWER CLEANOUTS IN PAVED AREAS NEED TRAFFIC RATED FRAMES AND COVERS.

WATER SERVICE NOTES

- 95% FILL COMPACTION IS REQUIRED FOR ALL WATER DISTRIBUTION FACILITIES LOCATED IN FILL MATERIAL.
- THE CONSTRUCTION OF WATER AND SANITARY SEWER LINES SHALL BE IN ACCORDANCE WITH PA DEP REGULATIONS RELATED TO HORIZONTAL AND VERTICAL SEPARATION.
- ALL WATER APPURTENANCES SHALL BE SET TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL POTABLE WATER PIPES SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET. POTABLE WATER AND SANITARY SEWER LINE CROSSINGS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES OR A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. IF THESE CLEARANCES CANNOT BE MET, THE WATER LINE JOINTS MUST HAVE FERNCO COUPLINGS INSTALLED FOR TEN (10) LINEAL FEET ON EACH SIDE OF THE CROSSING. IF THE POTABLE WATER PASSES BENEATH THE WATER SANITARY SEWER, NO MATTER HOW MUCH CLEARANCE, THE POTABLE WATER JOINTS MUST HAVE FERNCO COUPLINGS INSTALLED FOR TEN (10) LINEAL FEET ON EACH SIDE OF THE CROSSING.

STORMWATER BMP SPECIFICATIONS

SITE PREPARATION:

- AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENTS AND STRUCTURAL WORK SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED.
- CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED NO STEEPER THAN 3:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF AN EMBANKMENT.
- AREAS TO BE COVERED BY THE BMP'S WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIALS UNLESS OTHERWISE DESIGNATED ON THE PLANS.
- TREES, BRUSH, STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE FOR PCSM BMP'S. A MINIMUM OF 25 FEET RADIUS AROUND THE INLET STRUCTURE SHALL BE CLEARED.
- ALL CLEARED AND GRUBBED MATERIALS SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE RESERVOIR AS DIRECTED BY THE OWNER OR REPRESENTATIVE.
- WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILES IN A SUITABLE LOCATION FOR THE USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

EARTH FILL - MATERIAL & PLACEMENT:

- FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE MATERIALS.
- FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CL-ML OR CL AND MUST HAVE AT LEAST 30% PASSING THE 200 SIEVE. CONSIDERATION MY BE GIVEN TO THE USE OF SUBSTITUTE MATERIALS WHEN APPROVED BY AND SUPERVISED BY THE PROFESSIONAL GEOLOGIST.
- MATERIAL USED IN THE OUTER SHELL OF THE EMBANKMENT MUST HAVE THE CAPACITY TO SUPPORT VEGETATION OF THE QUALITY REQUIRED TO PREVENT EROSION OF THE EMBANKMENT.
- AREAS WHERE FILL IS TO BE PLACED, MUST BE SCARIFIED PRIOR TO THE PLACEMENT OF THE FILL.
- FILL SHALL BE PLACED IN 8" LIFTS BEFORE COMPACTION WHICH ARE TO BE CONTINUOUS OVER THE LENGTH OF THE FILL.
- THE MOST PERMEABLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT.
- THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION:

- THE MOVEMENT, HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRANSVERSED BY NOTE LESS THAN ON TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A VIBRATORY ROLLER.
- THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT UTILIZED.
- WHEN REQUIRED BY THE REVIEWING AGENCIES, THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF + OR - 2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY AND IS TO BE CERTIFIED AT THE TIME OF CONSTRUCTION FROM THE PROFESSIONAL. ALL COMPACTION IS TO BE DETERMINED USING AASHTO T-99 STANDARD PROCTOR.

RIP RAP AND CONCRETE STRUCTURES:

ALL CONCRETE STRUCTURES AND RIP RAP SHALL MEET THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408.

CONTRACTOR NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED EXISTING LANDSCAPE AND/OR SITE FEATURES WHICH ARE TO REMAIN.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO BUILDING STAKEOUT, CONTRACTOR SHALL VERIFY DIMENSIONS SET FORTH ON LATEST ARCHITECTURAL PLANS.
- ALL CONSTRUCTION TO CONFORM TO THE MUNICIPAL AND/OR COUNTY ORDINANCES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF APPLICABLE STANDARDS AND SPECIFICATIONS AS WELL AS THE REQUIRED METHODS OF CONSTRUCTION. ALL DEVIATIONS FROM THE PLANS MUST BE APPROVED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING AND SHORING, IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. MAINTENANCE AND PROTECTION OF TRAFFIC ALONG THE EXISTING ROADS NEIGHBORING THE PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL M & P PLANS AND PROCEDURES SHALL BE IN ACCORDANCE WITH TOWNSHIP AND/OR PENNDOT STANDARDS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO SLD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES, ROADS, DRIVEWAYS, AND STRUCTURES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION.
- DIMENSIONS AND GEOMETRY SHOWN ON THIS PLAN SHALL BE VERIFIED DURING STAKE-OUT CALCULATIONS AND FIELD STAKE-OUT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON THESE PLANS AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ALSO A MINIMUM SLOPE ON ALL GRASS AREAS.
- CONTRACTOR TO TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. SLD MAKES NO GUARANTEE THAT THE EXISTING UTILITIES ARE EXACTLY AS SHOWN.
- CONTRACTOR SHALL VERIFY TO THEIR SATISFACTION, THE FINAL EARTHWORK NUMBERS PRIOR TO COMMENCEMENT OF SITE WORK. SLD MAKES NO GUARANTEE THAT ON SITE SOILS WILL BE SUITABLE FOR STRUCTURAL FILL, OR THAT THE EARTHWORK WILL BALANCE. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ACTUAL EARTHWORK NUMBERS ENCOUNTERED DURING CONSTRUCTION.
- ALL DIMENSIONS IN AREAS OF PROPOSED CURBING ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- IN THE CASE OF DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- FAILURE TO SPECIFICALLY IDENTIFY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY APPURTENANCES AS NECESSARY TO MATCH PROPOSED GRADES, UNLESS OTHERWISE NOTED.
- CURB AND PAVEMENT SHALL BE INSTALLED IN A MANNER AS TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
- FIELD ADJUSTMENTS SHALL BE MADE AS NECESSARY TO PROVIDE A SMOOTH TRANSITION BOTH HORIZONTALLY AND VERTICALLY FROM THE EXISTING TO PROPOSED PAVING SECTIONS.
- ALL UNSUITABLE MATERIAL WITHIN STRUCTURAL FILL AREAS MUST BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND/OR THE TOWNSHIP.
- WHERE IT IS NECESSARY TO CONNECT TO OR EXTEND TO EXISTING PAVING, SAW CUT THE EXISTING EDGE OF PAVEMENT AND MILL AND OVERLAY AT THE POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE.
- ALL HANDICAPPED RAMPS, SIDEWALKS, AND HANDICAPPED PARKING SPACES MUST MEET ALL APPLICABLE ADA REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ADA COMPLIANCE PRIOR TO PLACEMENT OF PAVING OR CONCRETE.
- ALL ITEMS WHICH ARE REFERENCED AND NOT SPECIFICALLY DETAILED SHALL BE SELECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- A LICENSED PROFESSIONAL GEOLOGIST, SLD AND THE MUNICIPALITY SHALL BE CONTACTED UPON THE DISCOVERY OF ANY SINKHOLES. ANY SINKHOLE REMEDIATION MUST BE DONE IN ACCORDANCE WITH THE DIRECTION OF THE PROFESSIONAL GEOLOGIST.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SUBSURFACE CONDITIONS PRIOR TO PLACEMENTS OF MACADAM, CONCRETE OR THE INSTALLATION OF ANY UNDERGROUND UTILITIES.
- ALL STORMWATER PIPING SHALL BE WATER TIGHT PIPING, NO SOIL TIGHT PIPING OR FITTINGS ARE PERMITTED.
- CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. SLD MAKES NO GUARANTEES ON THE EXACT LOCATION AND DEPTH OF UTILITIES.
- CONTRACTORS SHALL VERIFY TO THEIR SATISFACTION, THE FINAL EARTHWORK QUANTITIES PRIOR TO COMMENCEMENT OF WORK. SLD MAKES NO GUARANTEE THAT ON SITE SOILS WILL BE SUITABLE FOR STRUCTURAL FILL, OR THAT EARTHWORK WILL BALANCE. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE ACTUAL EARTHWORK QUANTITIES ENCOUNTERED DURING CONSTRUCTION.
- ALL UNSUITABLE MATERIAL WITHIN STRUCTURAL FILL AREAS MUST BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND/OR THE MUNICIPALITY.
- TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER. ALL TOPSOIL PLACEMENT MUST BE A MINIMUM OF 6 INCHES MINIMUM.

POST CONSTRUCTION STORMWATER BMP MAINTENANCE & CRITICAL STAGES OF CONSTRUCTION

BMP ID	INSPECTION FREQUENCY	MAINTENANCE RESPONSIBILITY	CRITICAL STAGES OF INSPECTION	MAINTENANCE PROCEDURE
SUBSURFACE INFILTRATION BED BMP 6.4.3	TWICE EACH YEAR (MIN).	OWNER	THE FOLLOWING STAGES OF CONSTRUCTION SHALL BE OBSERVED BY A DESIGN PROFESSIONAL: 1. OBSERVATION AND VERIFICATION OF EXCAVATION AREA PER THE PLANS. 2. REVIEW AND CONFIRMATION OF CONSTRUCTION MATERIAL SELECTION & SPECIFICATIONS: <ul style="list-style-type: none">PIPE AND CONSTRUCTION MATERIAL AND SIZESTONE SUBBASE GRADATIONBEDDINGFILTER FABRIC (IF APPLICABLE)OUTLET STRUCTURE BOX SIZE, OPENINGS AND GRATEWEIR/ORIFICE PLATE MATERIAL AND DIMENSIONS	1. UNDERGROUND DETENTION BASINS SHALL BE INSPECTED TWICE A YEAR, IN THE SPRING AND FALL, AS NEEDED INTERMITTENTLY AND AFTER EACH MAJOR STORM EVENT. 2. FLUSH THE ENTIRE PIPE SYSTEM, BY ACCESSING CONNECTING INLETS AND CLEANOUTS. 3. DISPOSE OF ALL ACCUMULATED SEDIMENT AND DEBRIS IN ACCORDANCE WITH MUNICIPAL AND STATE REGULATIONS. 4. INSPECT THE OUTLET STRUCTURES. IF DAMAGE IS EVIDENT AT THE OUTLET STRUCTURE ORIFICE PLATE, REPAIR OR REPLACE OUTLET STRUCTURE PLATE PER THE PLAN DETAILS. 5. ALL ACCUMULATED DEBRIS & TRASH SHALL BE DISPOSED OF IN ACCORDANCE WITH RECYCLING AND DISPOSAL NOTES.

CLIENT:

SMITH LAND & IMPROVEMENT CORP.
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

PROJECT:

REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN

FORD TRUCK CENTER

NOTES

LOWER ALLEN TOWNSHIP CUMBERLAND COUNTY, PA.



3 Jennifer Court, Suite 300 C
Carlisle, PA 17015
717-422-8982

DATE:
SEPTEMBER 20, 2023

SHEET 2 OF 14

COMMENT

AS PER TOWNSHIP COMMENTS

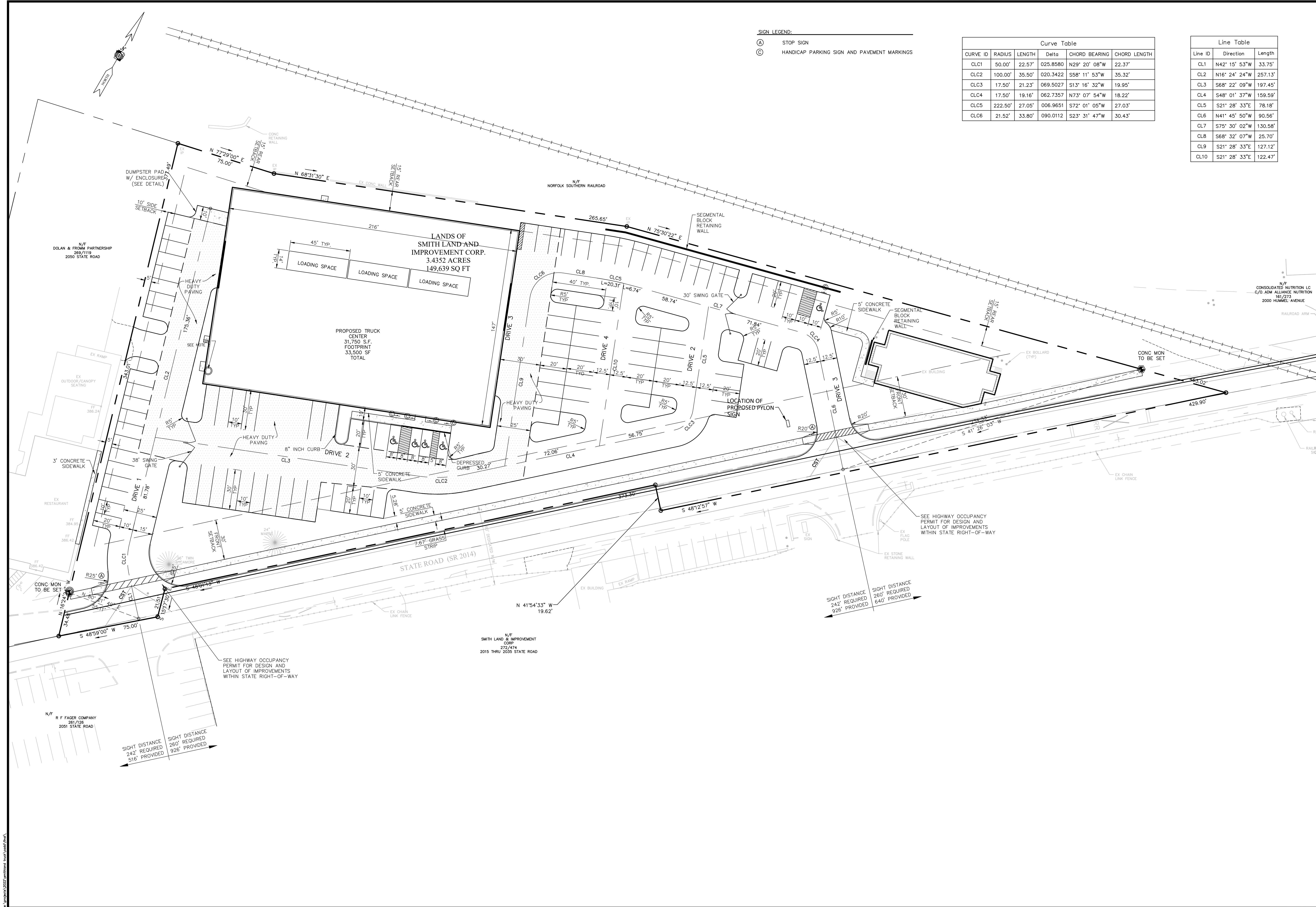
DATE

DECEMBER 1, 2023

REVISION

REVISION 1

AS NOTED



- SIGN LEGEND:
- (A) STOP SIGN
 - (C) HANDICAP PARKING SIGN AND PAVEMENT MARKINGS

Curve Table					
CURVE ID	RADIUS	LENGTH	Delta	CHORD BEARING	CHORD LENGTH
CLC1	50.00'	22.57'	025.8580	N29° 20' 08"W	22.37'
CLC2	100.00'	35.50'	020.3422	S58° 11' 53"W	35.32'
CLC3	17.50'	21.23'	069.5027	S13° 16' 32"W	19.95'
CLC4	17.50'	19.16'	062.7357	N73° 07' 54"W	18.22'
CLC5	222.50'	27.05'	006.9651	S72° 01' 05"W	27.03'
CLC6	21.52'	33.80'	090.0112	S23° 31' 47"W	30.43'

Line Table		
Line ID	Direction	Length
CL1	N42° 15' 53"W	33.75'
CL2	N16° 24' 24"W	257.13'
CL3	S68° 22' 09"W	197.45'
CL4	S48° 01' 37"W	159.59'
CL5	S21° 28' 33"E	78.18'
CL6	N41° 45' 50"W	90.56'
CL7	S75° 30' 02"W	130.58'
CL8	S68° 32' 07"W	25.70'
CL9	S21° 28' 33"E	127.12'
CL10	S21° 28' 33"E	122.47'

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FORD TRUCK CENTER
LAYOUT PLAN

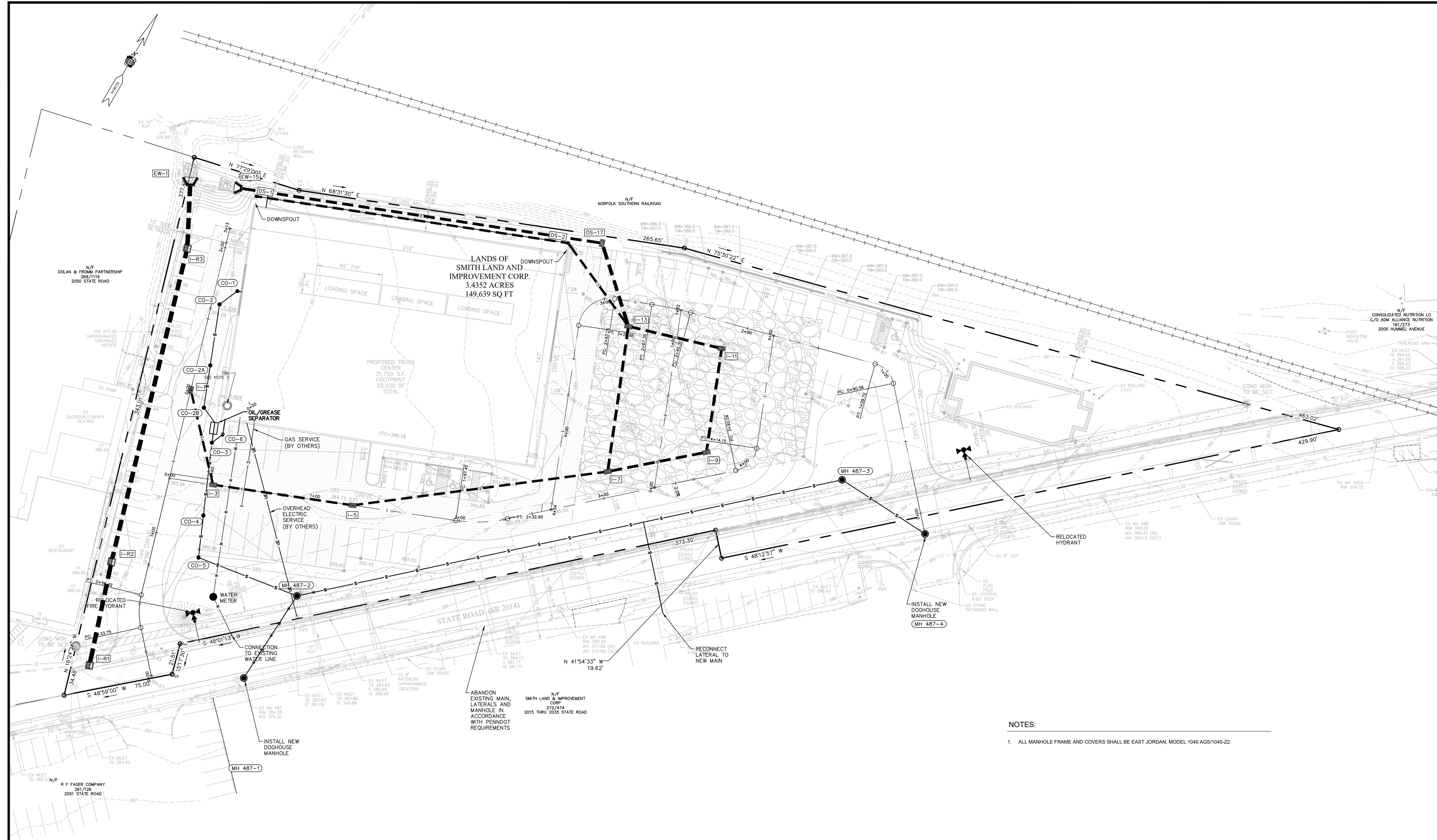
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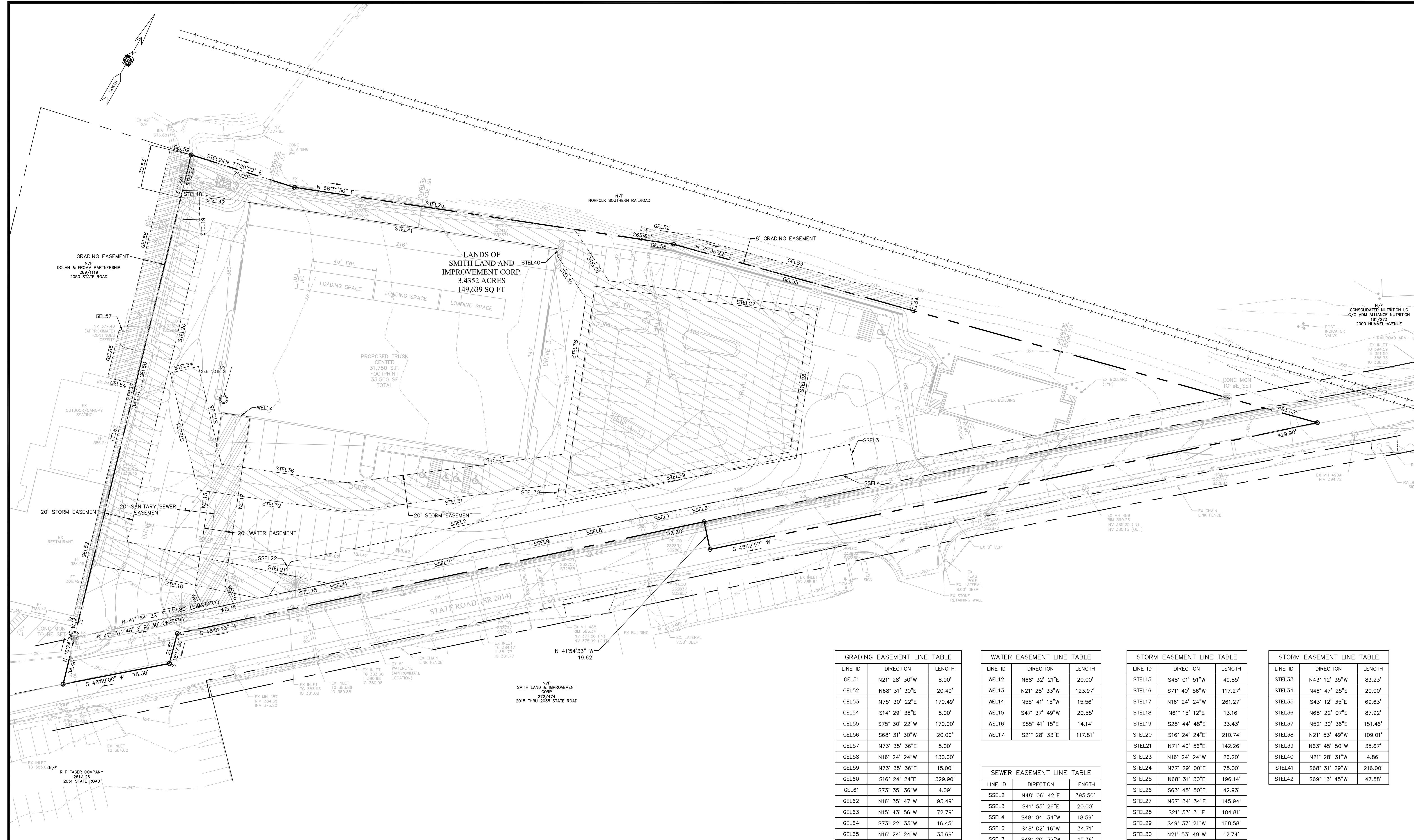
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GRADING EASEMENT LINE TABLE		
LINE ID	DIRECTION	LENGTH
GEL51	N21° 28' 30"W	8.00'
GEL52	N68° 31' 30"E	20.49'
GEL53	N75° 30' 22"E	170.49'
GEL54	S14° 29' 38"E	8.00'
GEL55	S75° 30' 22"W	170.00'
GEL56	S68° 31' 30"W	20.00'
GEL57	N73° 35' 36"E	5.00'
GEL58	N16° 24' 24"W	130.00'
GEL59	N73° 35' 36"E	15.00'
GEL60	S16° 24' 24"E	329.90'
GEL61	S73° 35' 36"W	4.09'
GEL62	N16° 35' 47"W	93.49'
GEL63	N15° 43' 56"W	72.79'
GEL64	S73° 22' 35"W	16.45'
GEL65	N16° 24' 24"W	33.69'

WATER EASEMENT LINE TABLE		
LINE ID	DIRECTION	LENGTH
WEL12	N68° 32' 21"E	20.00'
WEL13	N21° 28' 33"W	123.97'
WEL14	N55° 41' 15"W	15.56'
WEL15	S47° 37' 49"W	20.55'
WEL16	S55° 41' 15"E	14.14'
WEL17	S21° 28' 33"E	117.81'

SEWER EASEMENT LINE TABLE		
LINE ID	DIRECTION	LENGTH
SSEL2	N48° 06' 42"E	395.50'
SSEL3	S41° 55' 26"E	20.00'
SSEL4	S48° 04' 34"W	18.59'
SSEL6	S48° 02' 16"W	34.71'
SSEL7	S48° 20' 32"W	45.36'
SSEL8	S47° 58' 18"W	50.77'
SSEL9	S48° 13' 06"W	42.97'
SSEL10	S48° 07' 37"W	76.99'
SSEL11	S48° 03' 10"W	84.59'
SSEL22	N02° 54' 27"E	28.22'

STORM EASEMENT LINE TABLE		
LINE ID	DIRECTION	LENGTH
STEL15	S48° 01' 51"W	49.85'
STEL16	S71° 40' 56"W	117.27'
STEL17	N16° 24' 24"W	261.27'
STEL18	N61° 15' 12"E	13.16'
STEL19	S28° 44' 48"E	33.43'
STEL20	S16° 24' 24"E	210.74'
STEL21	N71° 40' 56"E	142.26'
STEL23	N16° 24' 24"W	26.20'
STEL24	N77° 29' 00"E	75.00'
STEL25	N68° 31' 30"E	196.14'
STEL26	S63° 45' 50"E	42.93'
STEL27	N67° 34' 34"E	145.94'
STEL28	S21° 53' 31"E	104.81'
STEL29	S49° 37' 21"W	168.58'
STEL30	N21° 53' 49"W	12.74'
STEL31	S52° 30' 36"W	148.66'
STEL32	S68° 22' 07"W	104.31'

STORM EASEMENT LINE TABLE		
LINE ID	DIRECTION	LENGTH
STEL33	N43° 12' 35"W	83.23'
STEL34	N46° 47' 25"E	20.00'
STEL35	S43° 12' 35"E	69.63'
STEL36	N68° 22' 07"E	87.92'
STEL37	N52° 30' 36"E	151.46'
STEL38	N21° 53' 49"W	109.01'
STEL39	N63° 45' 50"W	35.67'
STEL40	N21° 28' 31"W	4.86'
STEL41	S68° 31' 29"W	216.00'
STEL42	S69° 13' 45"W	47.58'

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CLIENT: SMITH LAND & IMPROVEMENT CORP.

DATE: SEPTEMBER 20, 2023

REVISION 1

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1810 MARKET STREET

CAMP HILL, PA 17011

717-731-0207

LOWER ALLEN TOWNSHIP

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3 Jennifer Court, Suite 300 C
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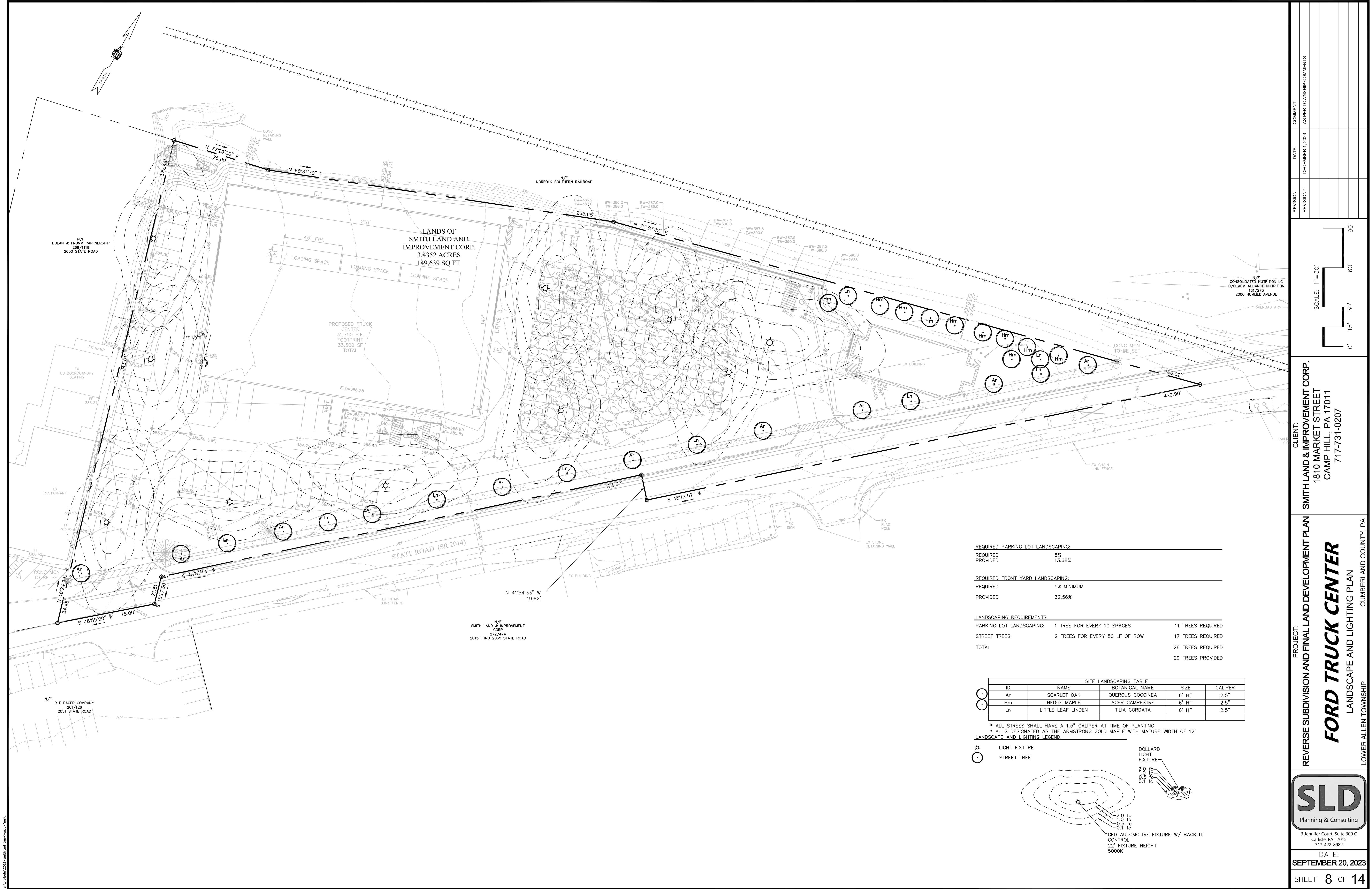
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SCALE: 1"=30'

0' 15' 30' 60' 90'

FOR FORD TRUCK CENTER

EASEMENT PLAN



REQUIRED PARKING LOT LANDSCAPING:	
REQUIRED	5%
PROVIDED	13.68%

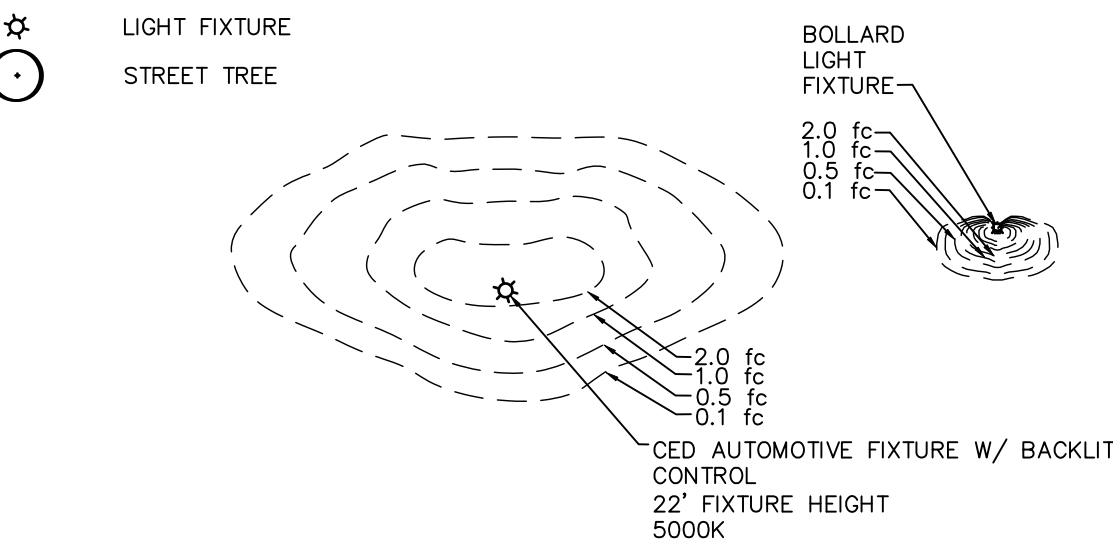
REQUIRED FRONT YARD LANDSCAPING:	
REQUIRED	5% MINIMUM
PROVIDED	32.56%

LANDSCAPING REQUIREMENTS:		
PARKING LOT LANDSCAPING:	1 TREE FOR EVERY 10 SPACES	11 TREES REQUIRED
STREET TREES:	2 TREES FOR EVERY 50 LF OF ROW	17 TREES REQUIRED
TOTAL		28 TREES REQUIRED
		29 TREES PROVIDED

SITE LANDSCAPING TABLE				
ID	NAME	BOTANICAL NAME	SIZE	CALIPER
Ar	SCARLET OAK	QUERCUS COCINEA	6' HT	2.5"
Hm	HEDGE MAPLE	ACER CAMPESTRE	6' HT	2.5"
Ln	LITTLE LEAF LINDEN	TILIA CORDATA	6' HT	2.5"

- * ALL STREES SHALL HAVE A 1.5" CALIPER AT TIME OF PLANTING
- * Ar IS DESIGNATED AS THE ARMSTRONG GOLD MAPLE WITH MATURE WIDTH OF 12'

LANDSCAPE AND LIGHTING LEGEND:



REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN

PROJECT:

SMITH LAND & IMPROVEMENT CORP.

LANDSCAPE AND LIGHTING PLAN

CLIENT:

SMITH LAND & IMPROVEMENT CORP.

DATE: SEPTEMBER 20, 2023

DATE: DECEMBER 1, 2023

REVISION 1

COMMENT

AS PER TOWNSHIP COMMENTS

LOWER ALLEN TOWNSHIP

CUMBERLAND COUNTY, PA.

1810 MARKET STREET

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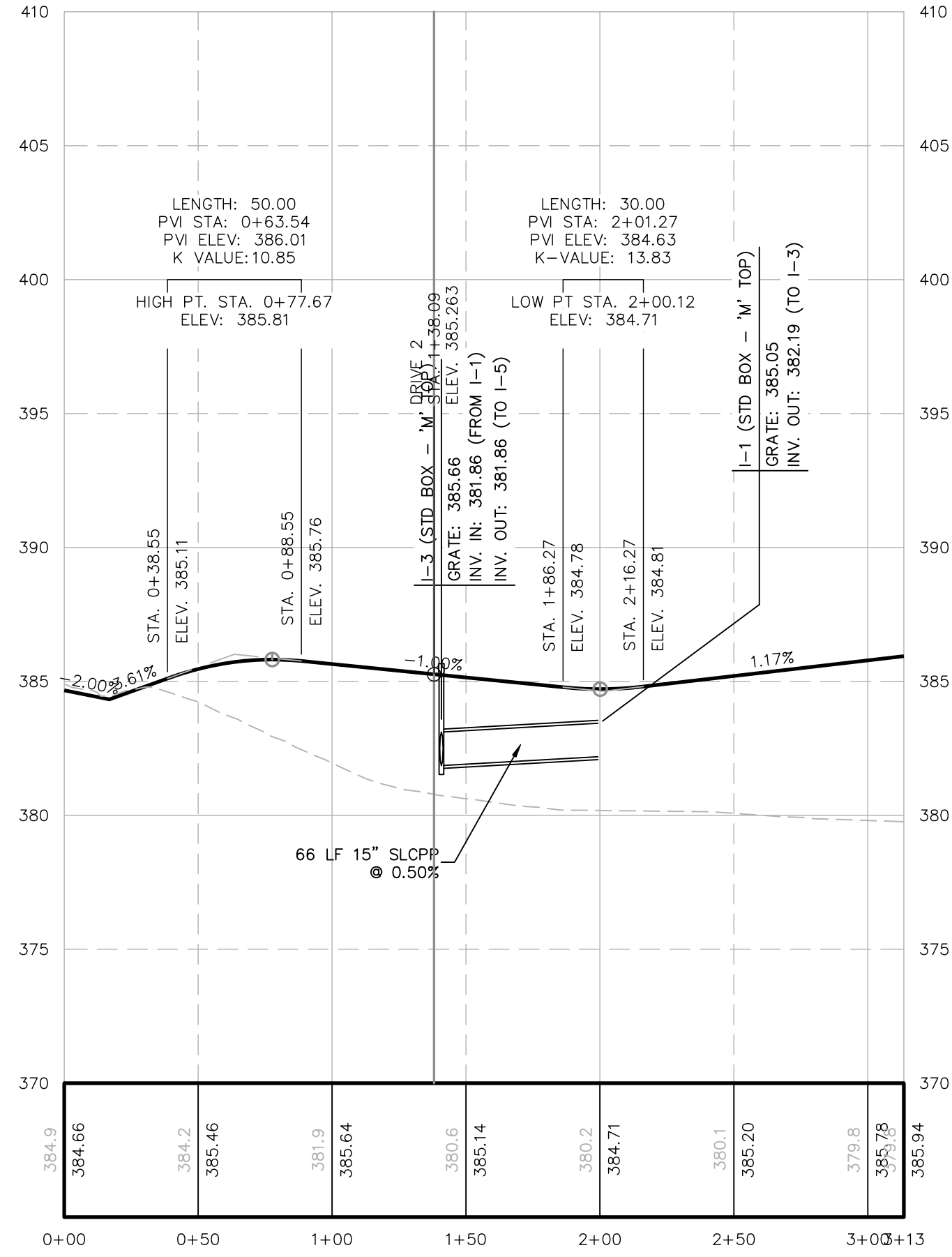
SEPTEMBER 20, 2023

SHEET

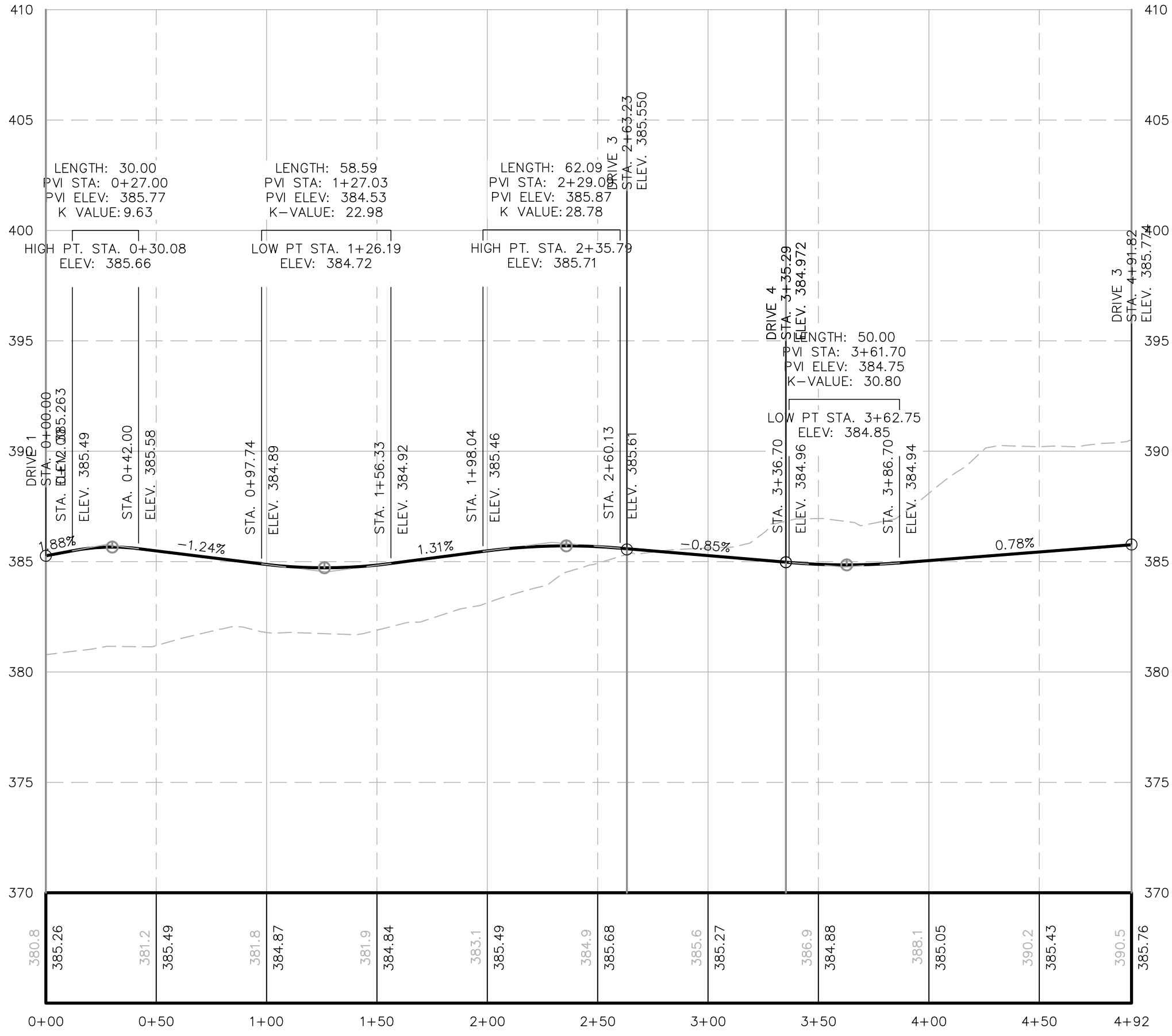
8

OF 14

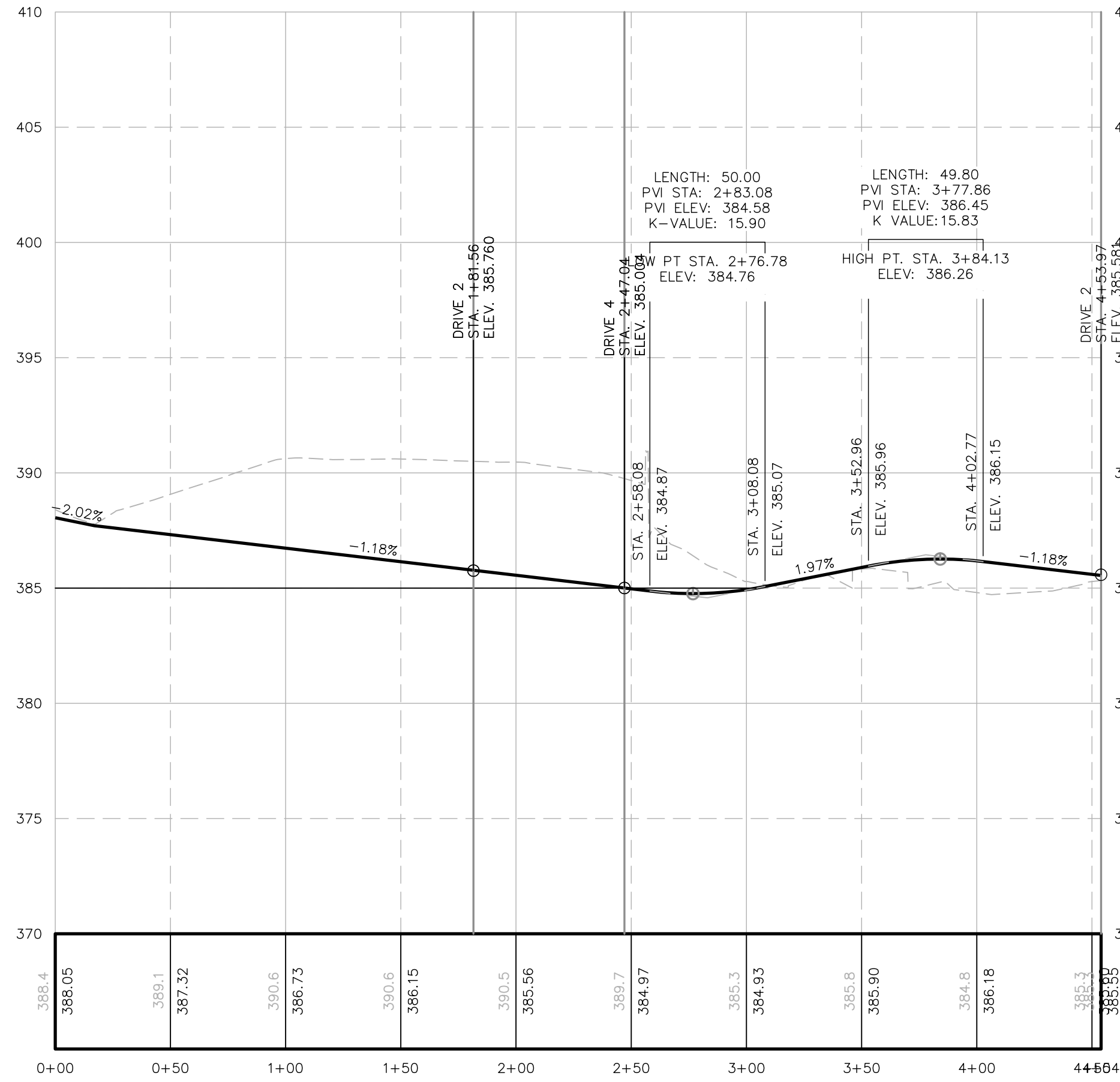
\\s01gpc01\2023\cumberland_truck_center\Drawn\



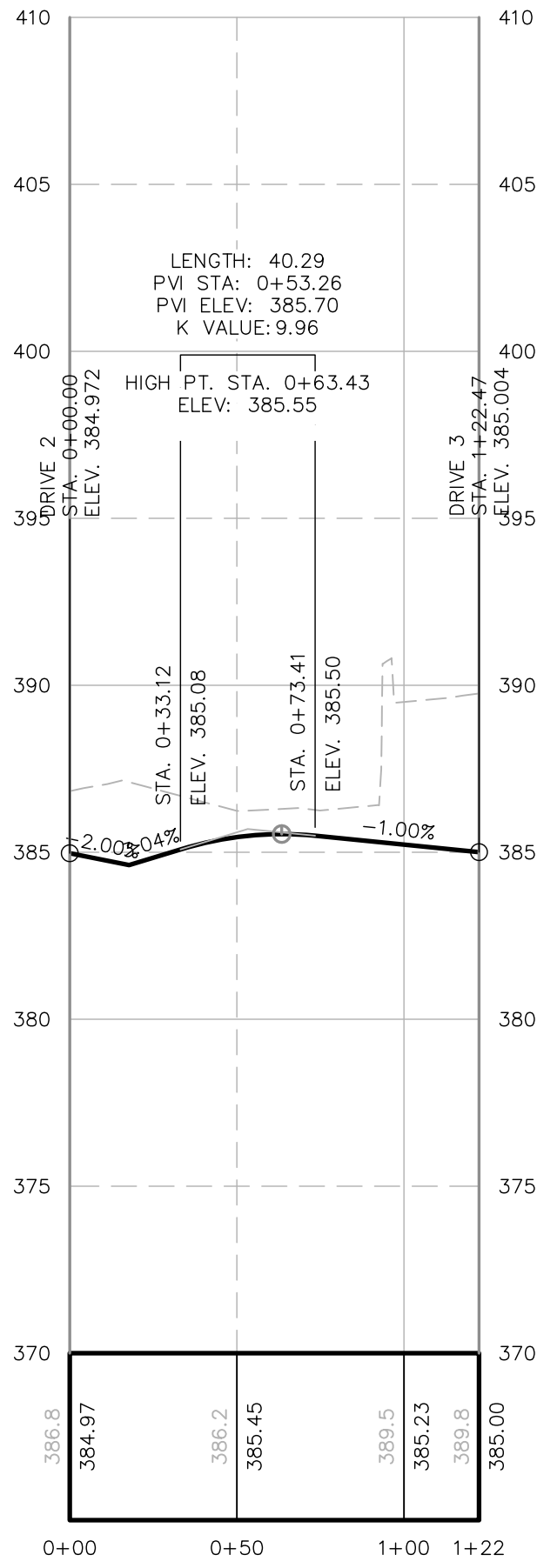
DRIVE 1
HORIZ. SCALE: 1"=50'
VERT SCALE: 1"=5'



DRIVE 2
HORIZ. SCALE: 1"=50'
VERT SCALE: 1"=5'



DRIVE 3
HORIZ. SCALE: 1"=50'
VERT SCALE: 1"=5'



DRIVE 4
HORIZ. SCALE: 1"=50'
VERT SCALE: 1"=5'



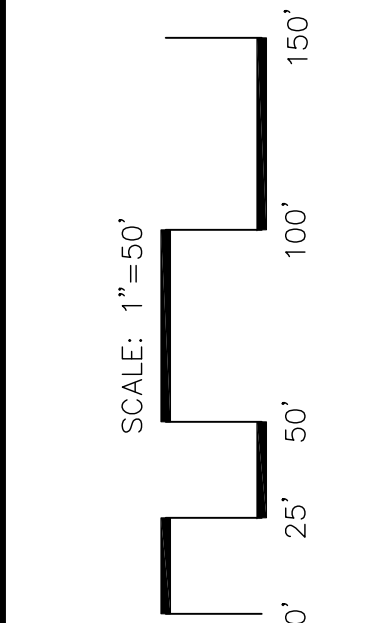
3 Jennifer Court, Suite 300 C
Carlisle, PA 17015
717-422-8982

DATE:
SEPTEMBER 20, 2023

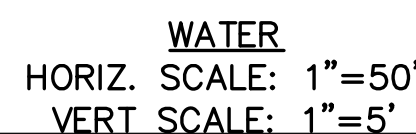
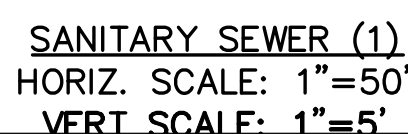
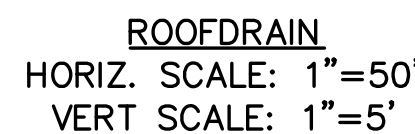
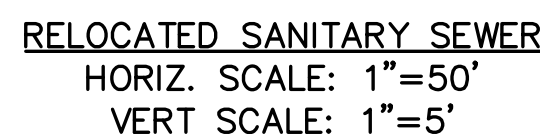
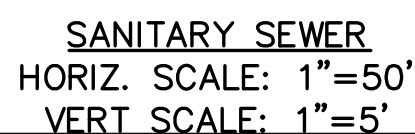
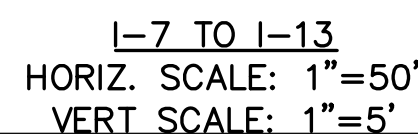
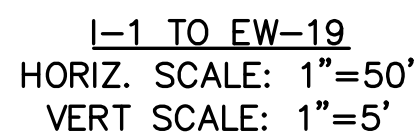
SHEET 9 OF 14

PROJECT: REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN
FORD TRUCK CENTER
DRIVEWAY PROFILES
LOWER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

CLIENT: SMITH LAND & IMPROVEMENT CORP.
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

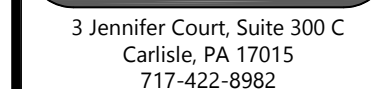


REVISION	DATE	COMMENT
REVISION 1	DECEMBER 1, 2023	AS PER TOWNSHIP COMMENTS



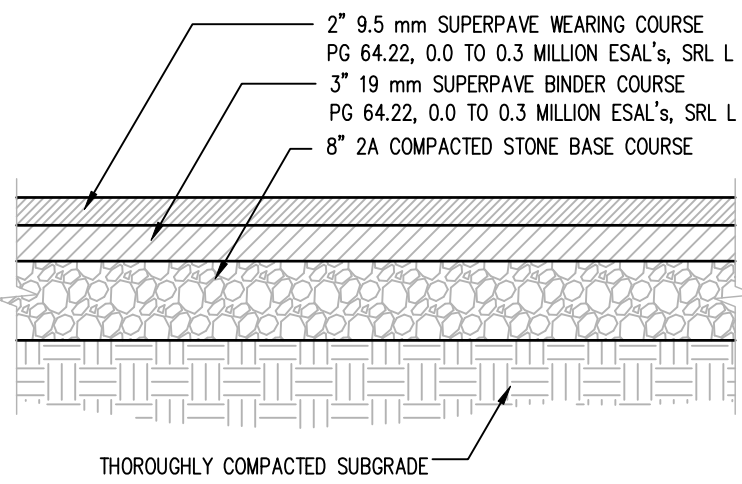
SCALE: 1"=50'

PROJECT:
REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN
FORD TRUCK CENTER
UTILITY PROFILES
LOWER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA



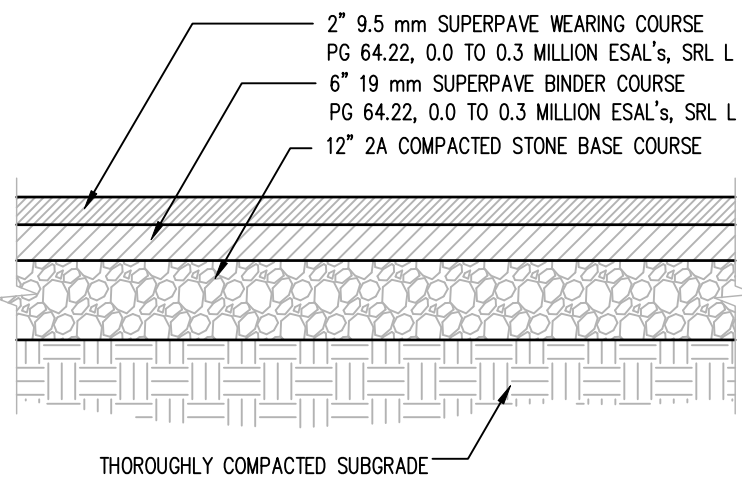
DATE:
SEPTEMBER 20, 2023

SHEET 10 OF 14



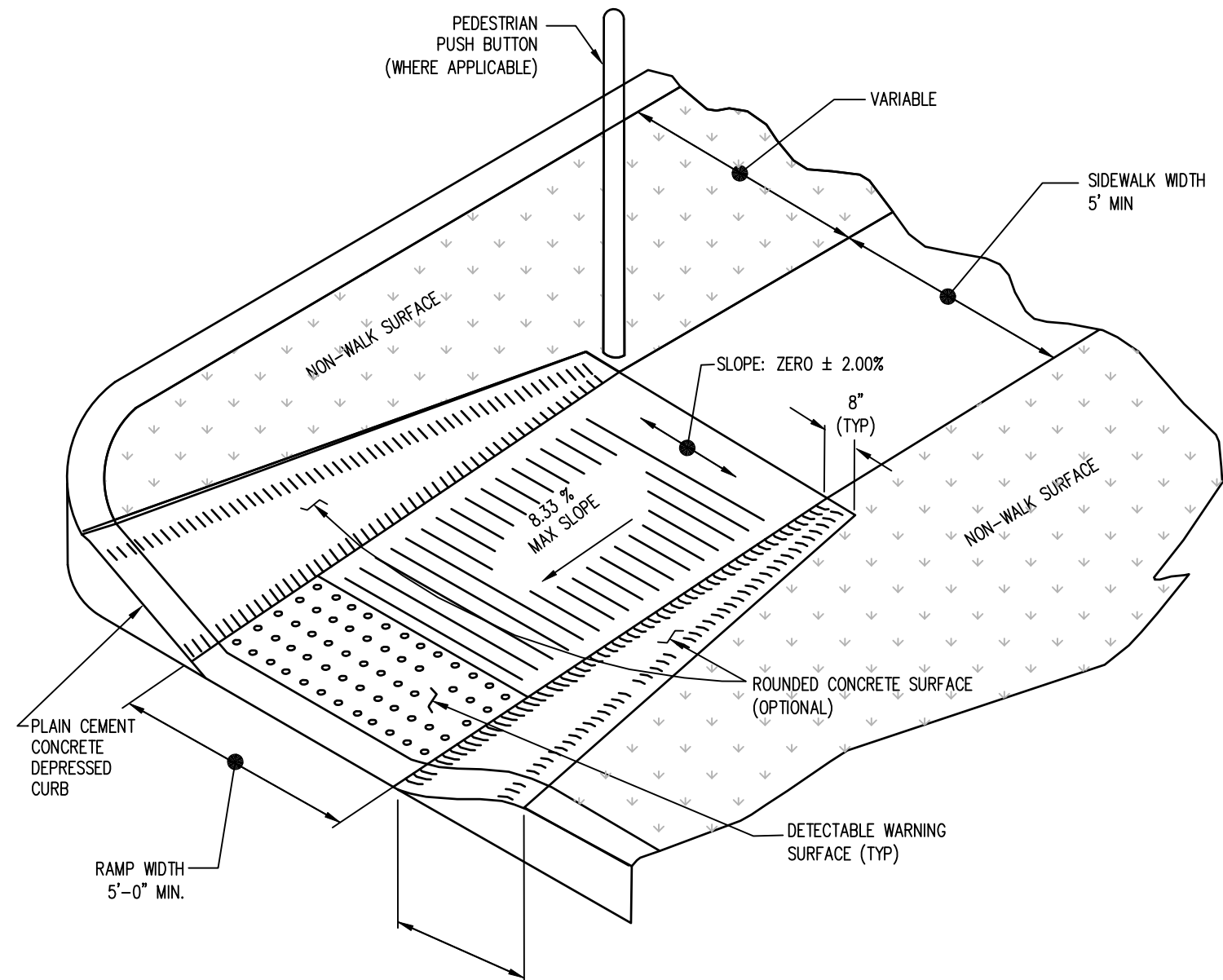
TYPICAL PAVING SECTION

NOT TO SCALE



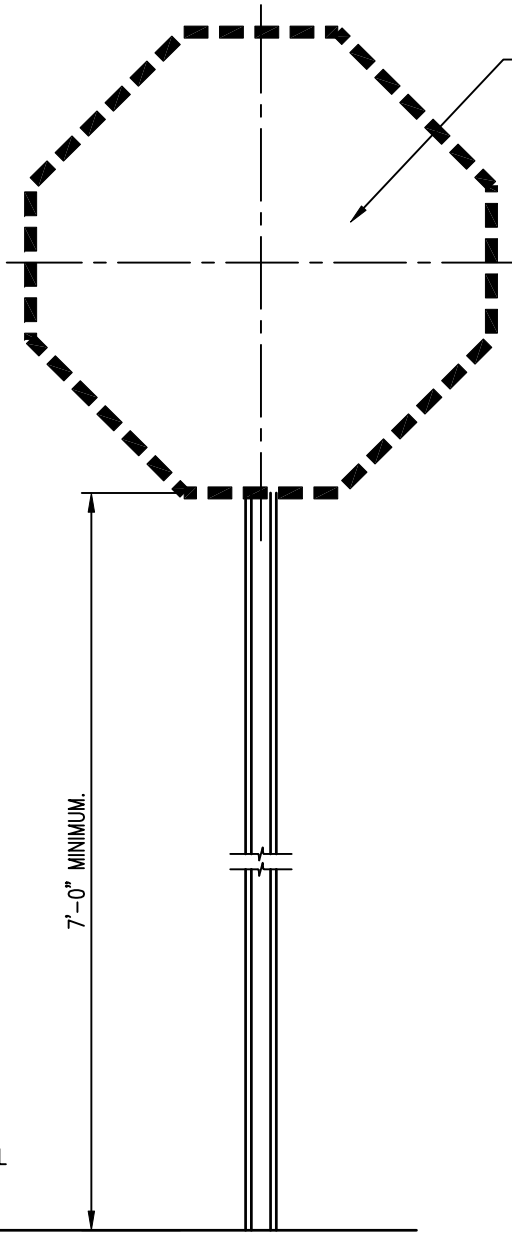
HEAVY DUTY PAVING SECTION

NOT TO SCALE



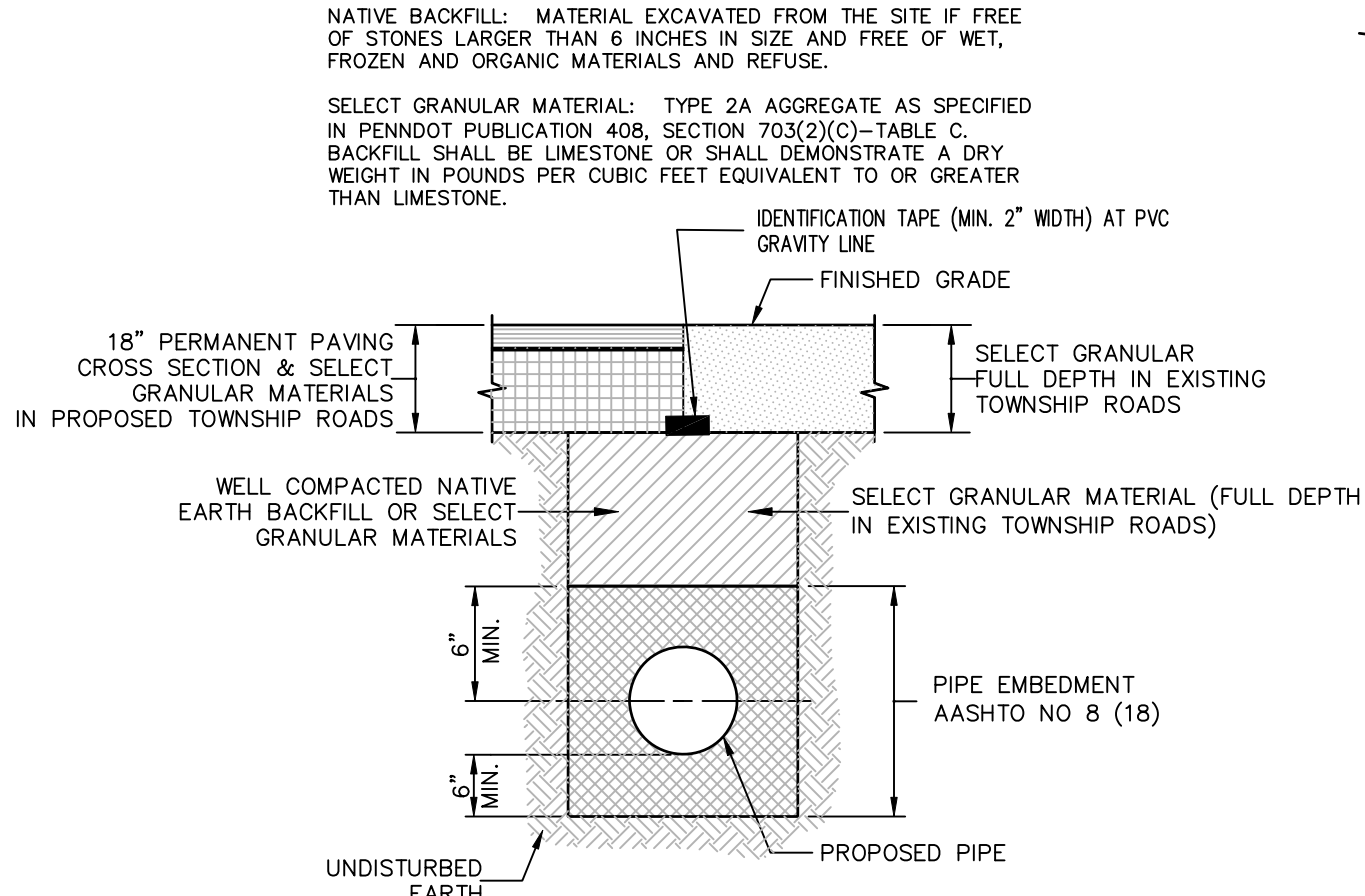
"TYPE 4A" ACCESSIBLE RAMP DETAIL

NOT TO SCALE



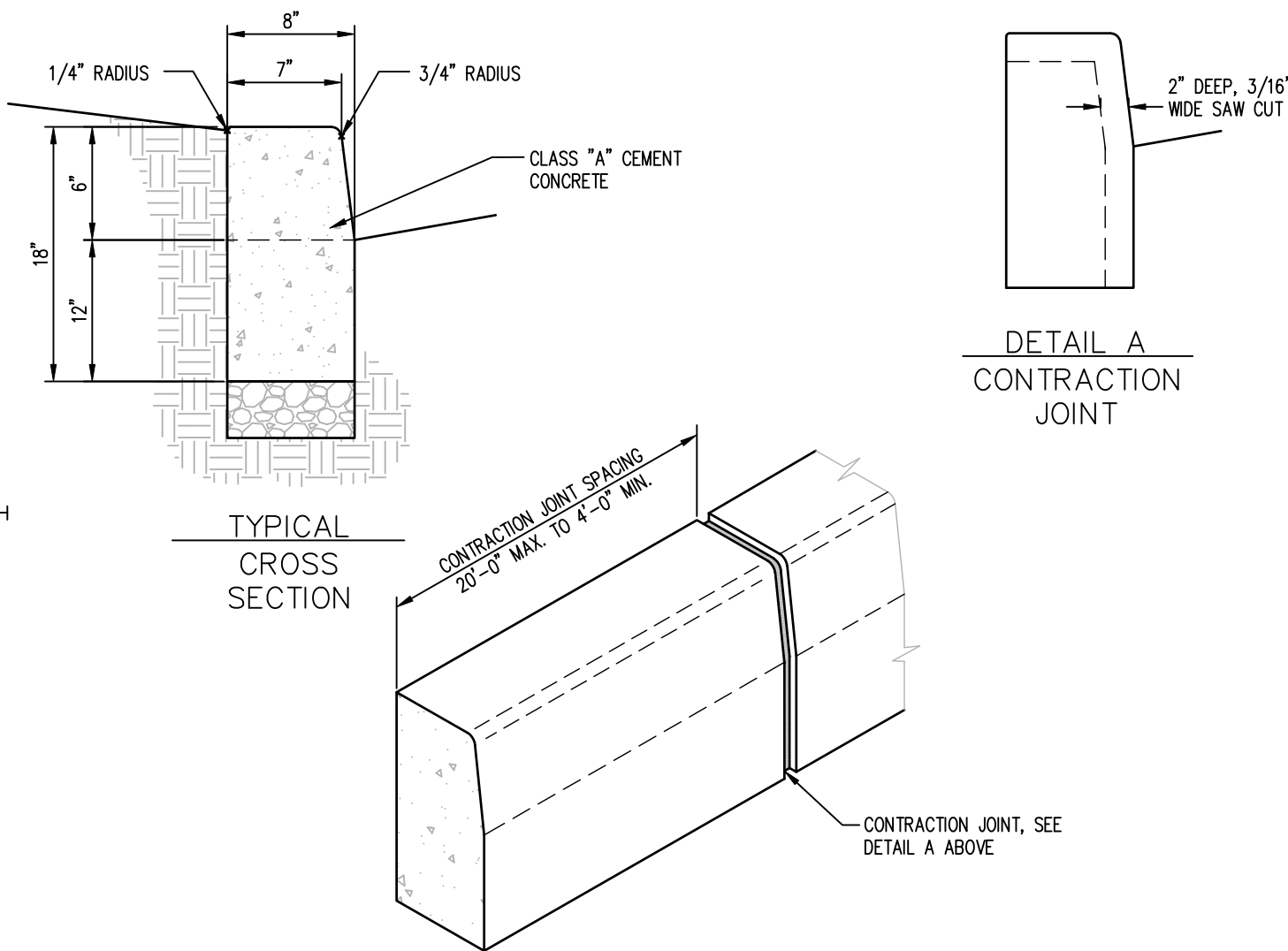
SIGN POST DETAIL

NOT TO SCALE



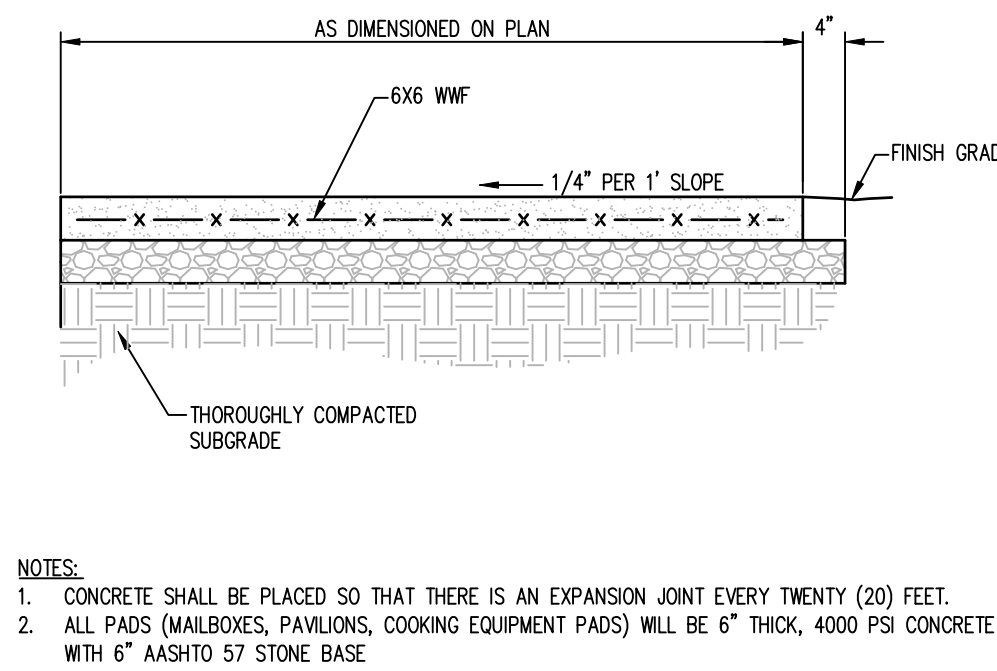
TYPICAL UTILITY TRENCH (SEWER/WATER MAINS AND LATERALS) DETAIL

NOT TO SCALE



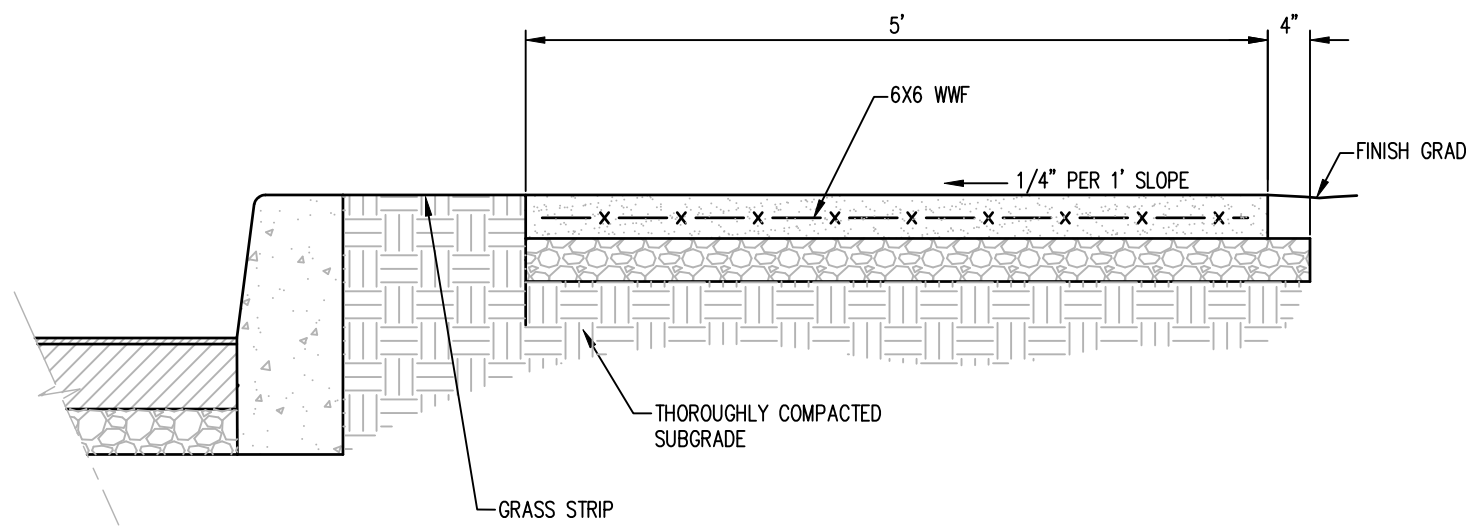
6" REVEAL CONCRETE CURB DETAIL

NOT TO SCALE



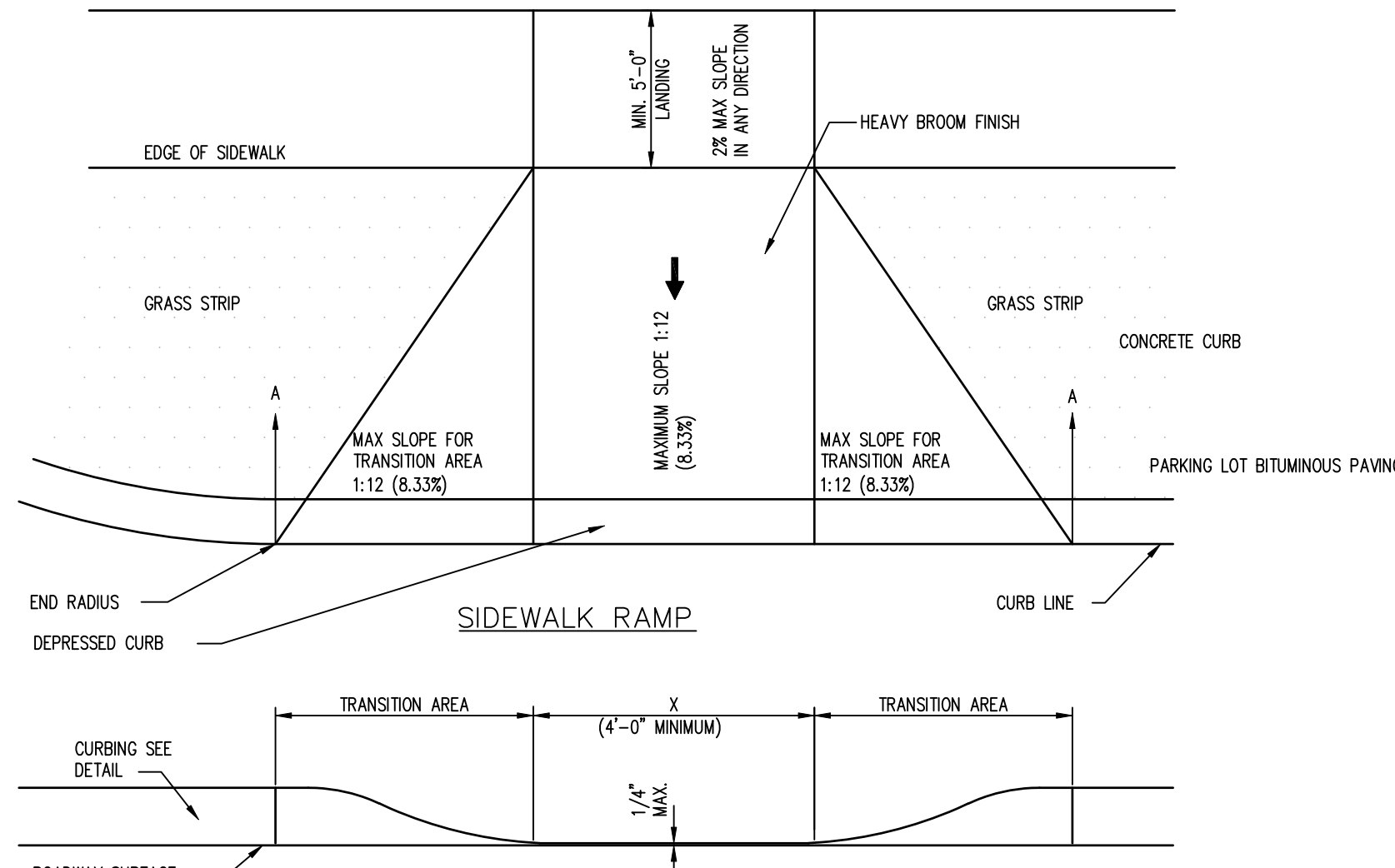
TYPICAL CONCRETE PAD DETAIL

NOT TO SCALE



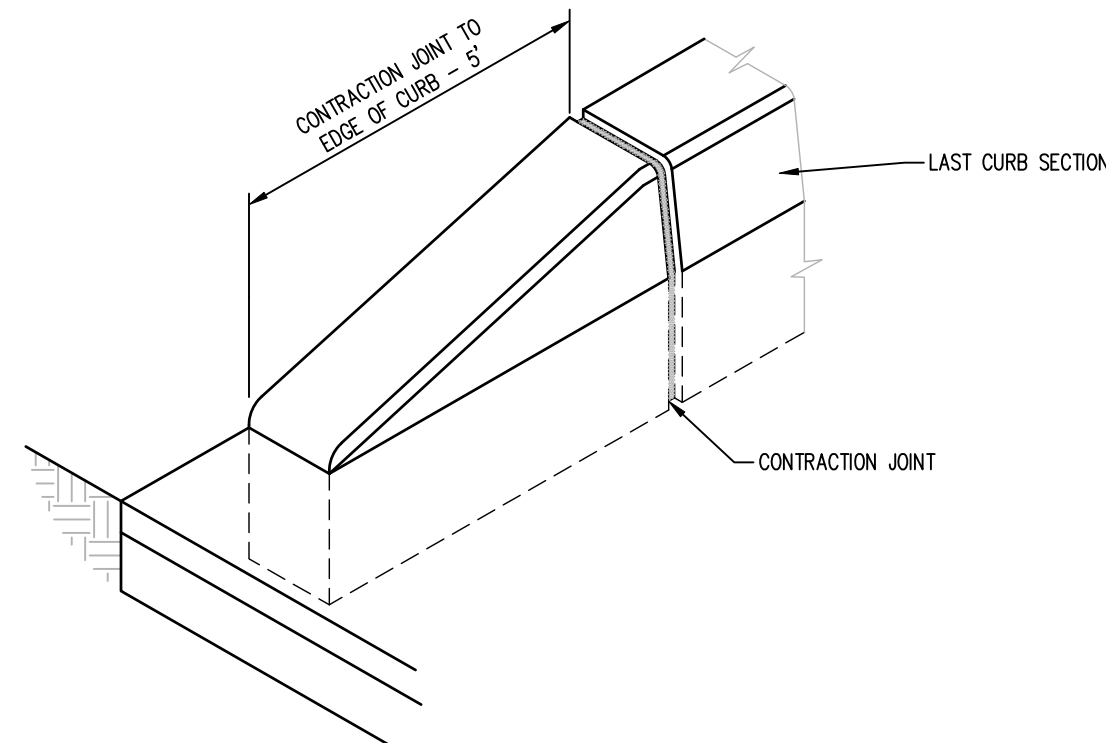
TYPICAL CONCRETE SIDEWALK DETAIL

NOT TO SCALE



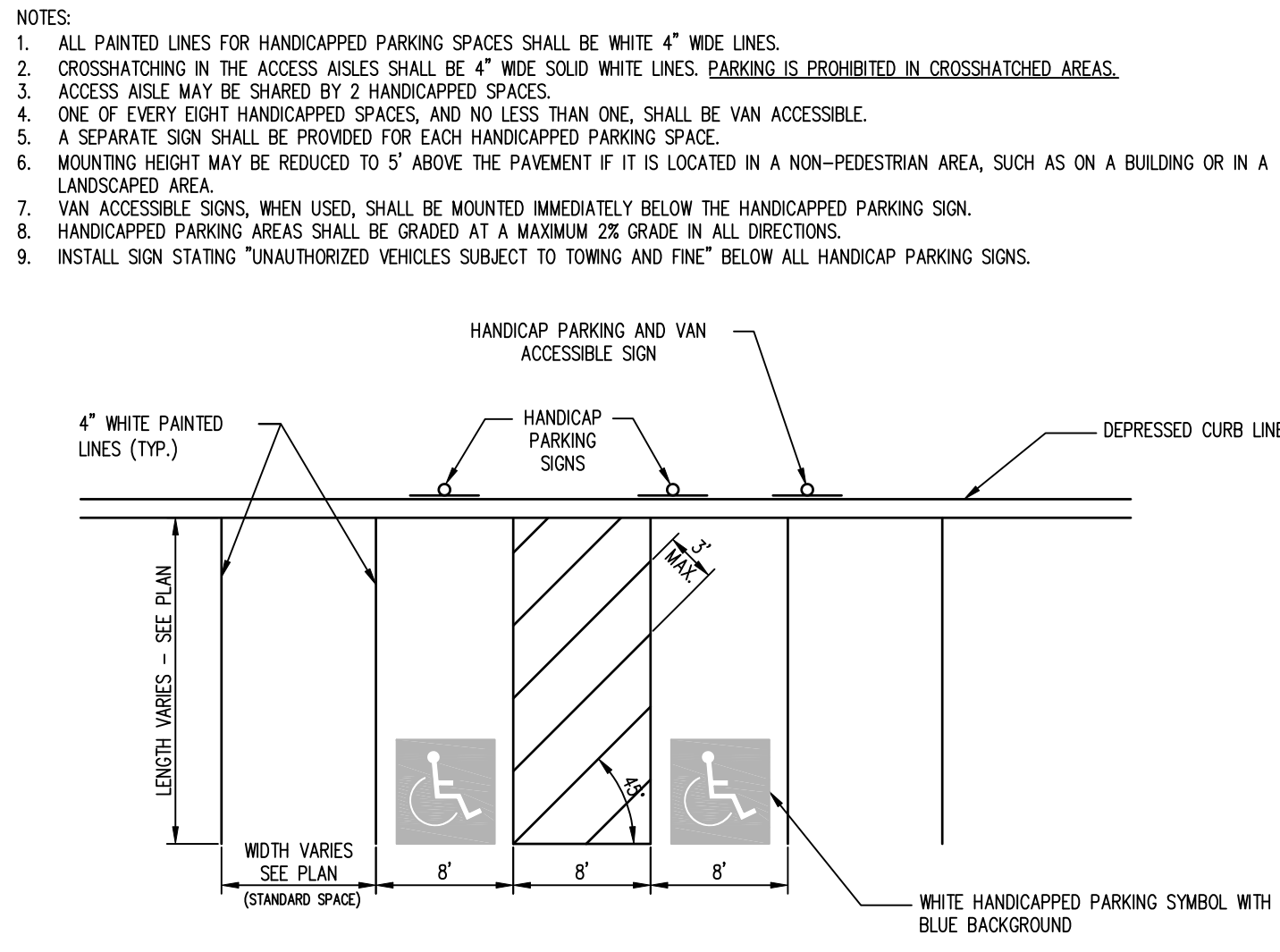
ACCESSIBLE RAMP DETAIL

NOT TO SCALE



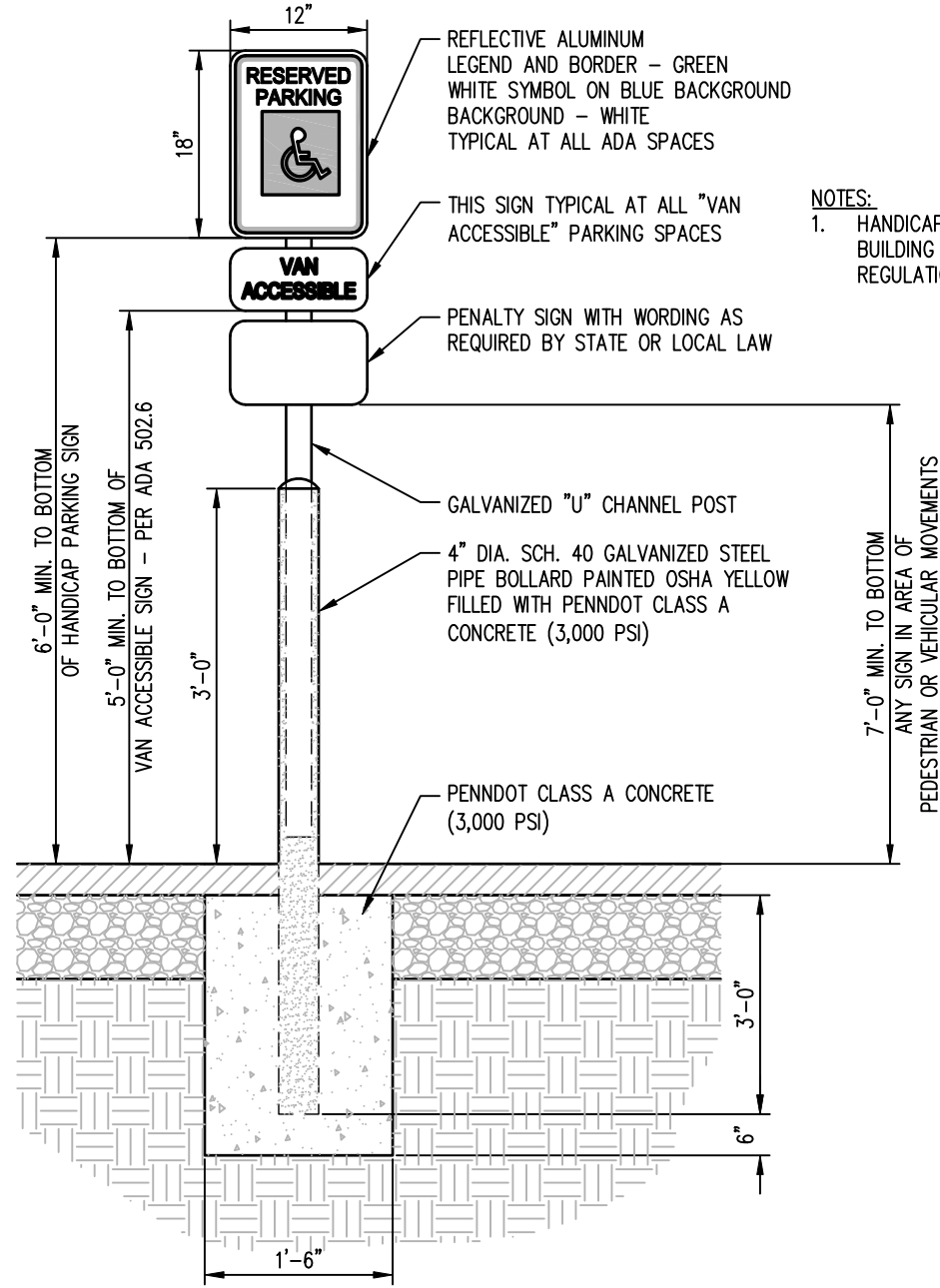
CURB TRANSITION DETAIL

NOT TO SCALE



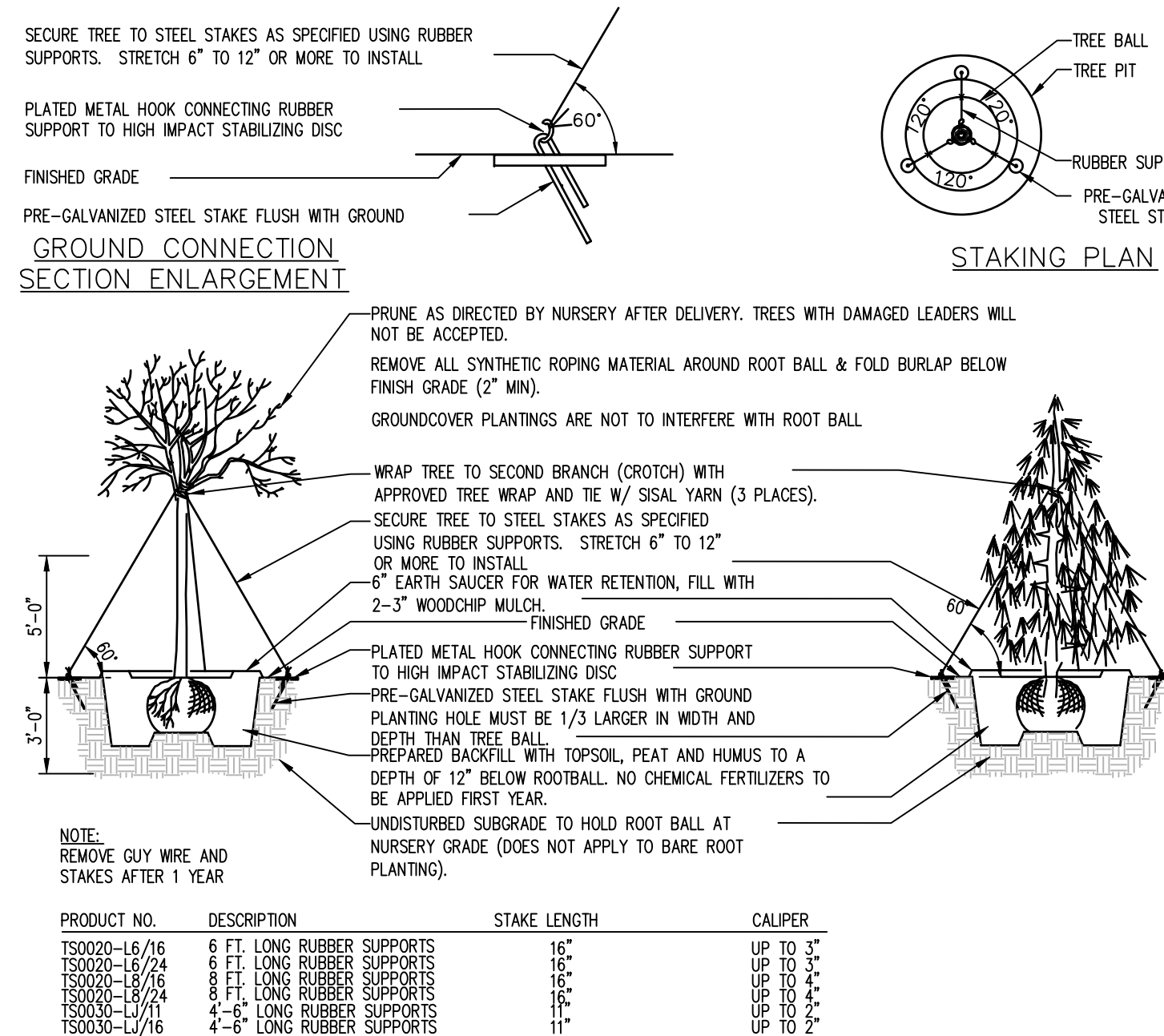
ACCESSIBLE PARKING STRIPING DETAIL

NOT TO SCALE



ACCESSIBLE PARKING SPACE SIGN

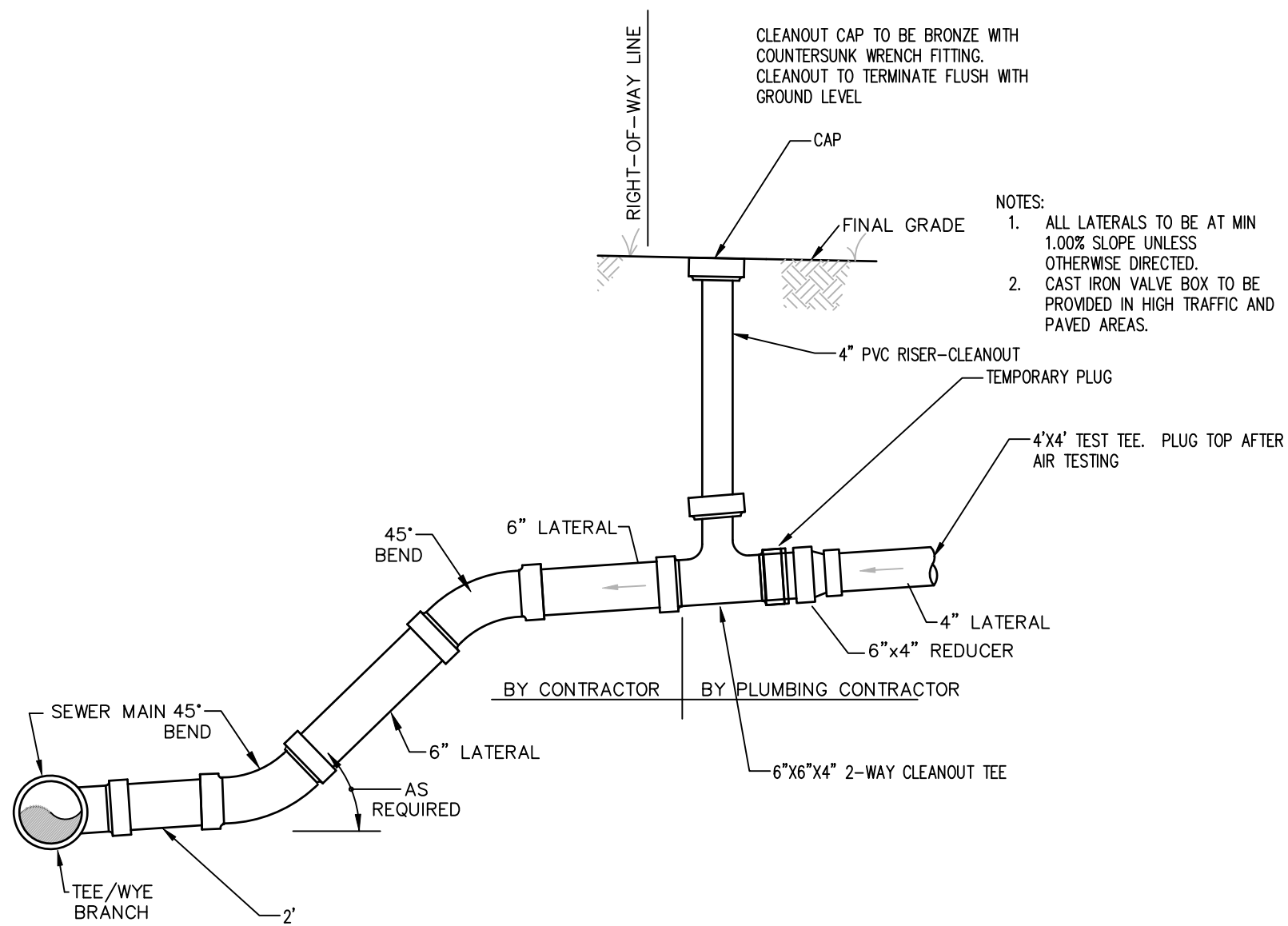
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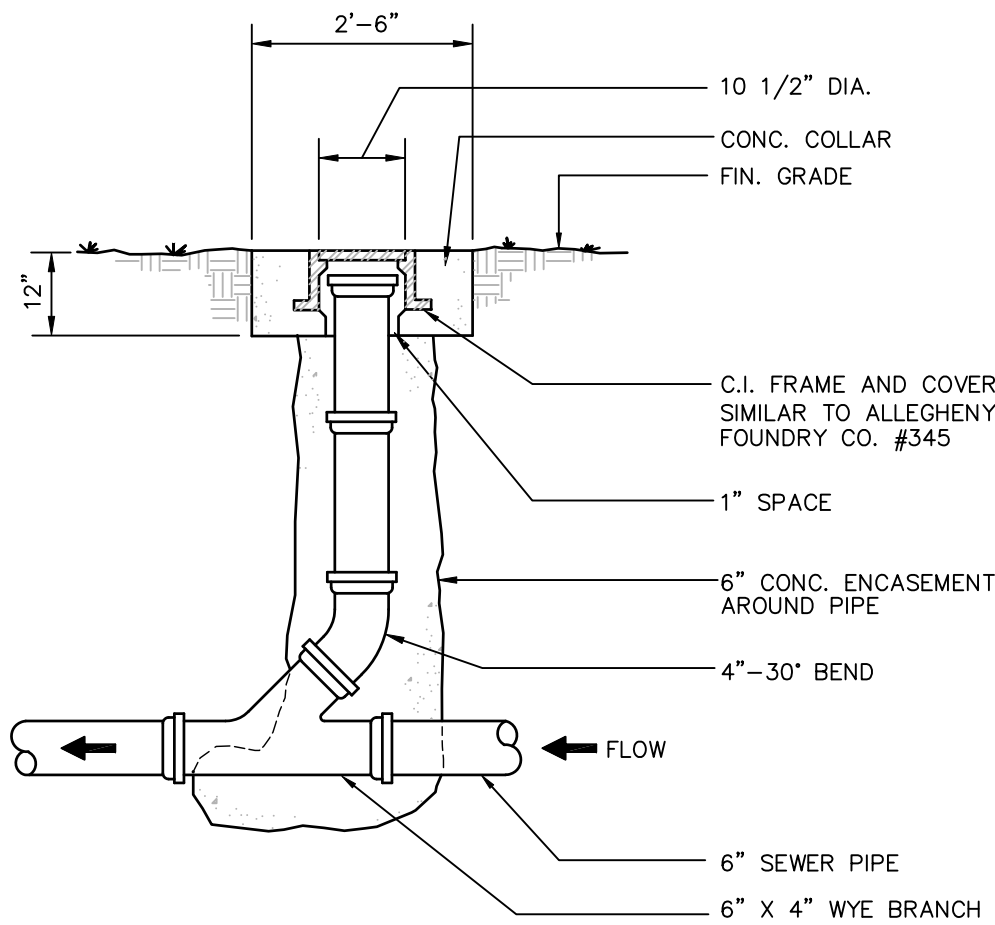
TYPICAL TREE ANCHORING DETAIL

NOT TO SCALE

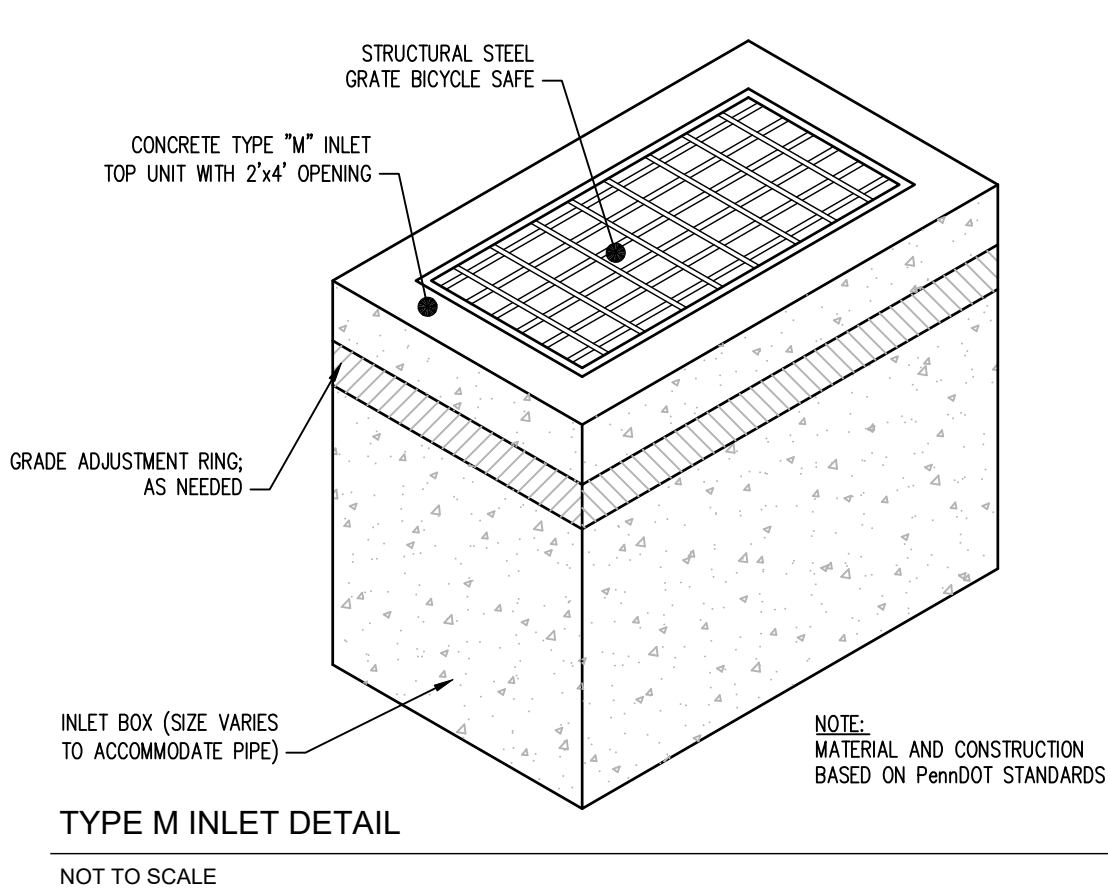
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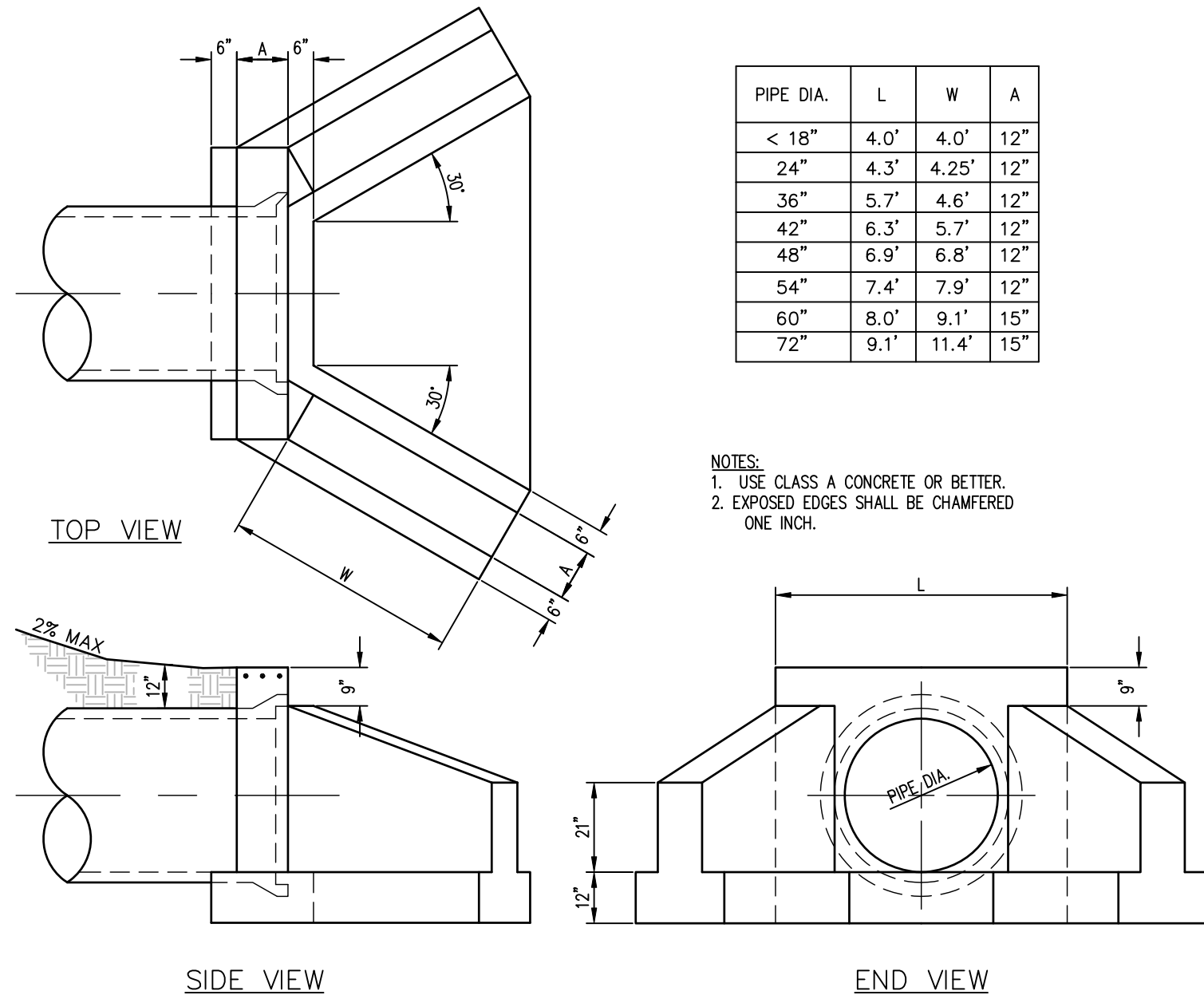
TYPICAL SEWER LATERAL AND CLEANOUT AT DEEP SEWER MAIN
NOT TO SCALE



SEWER CLEANOUT DETAIL
NOT TO SCALE



TYPE M INLET DETAIL
NOT TO SCALE

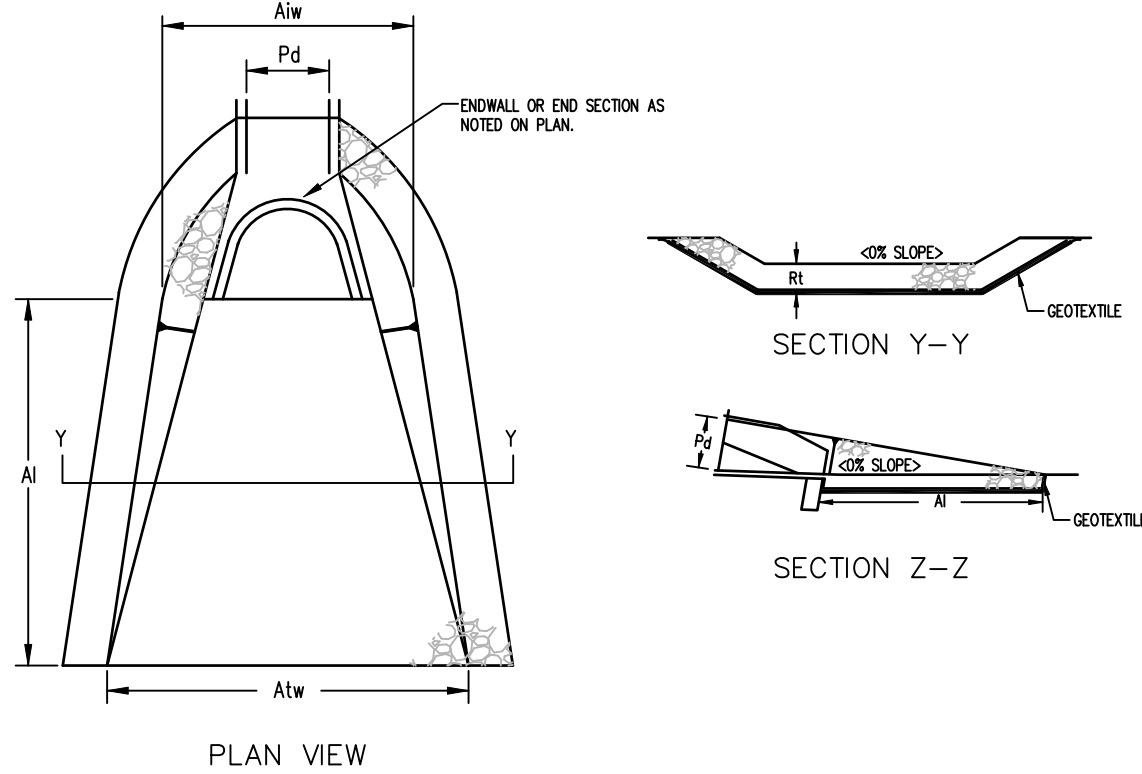


TYPE D-W ENDWALL DETAIL
NOT TO SCALE

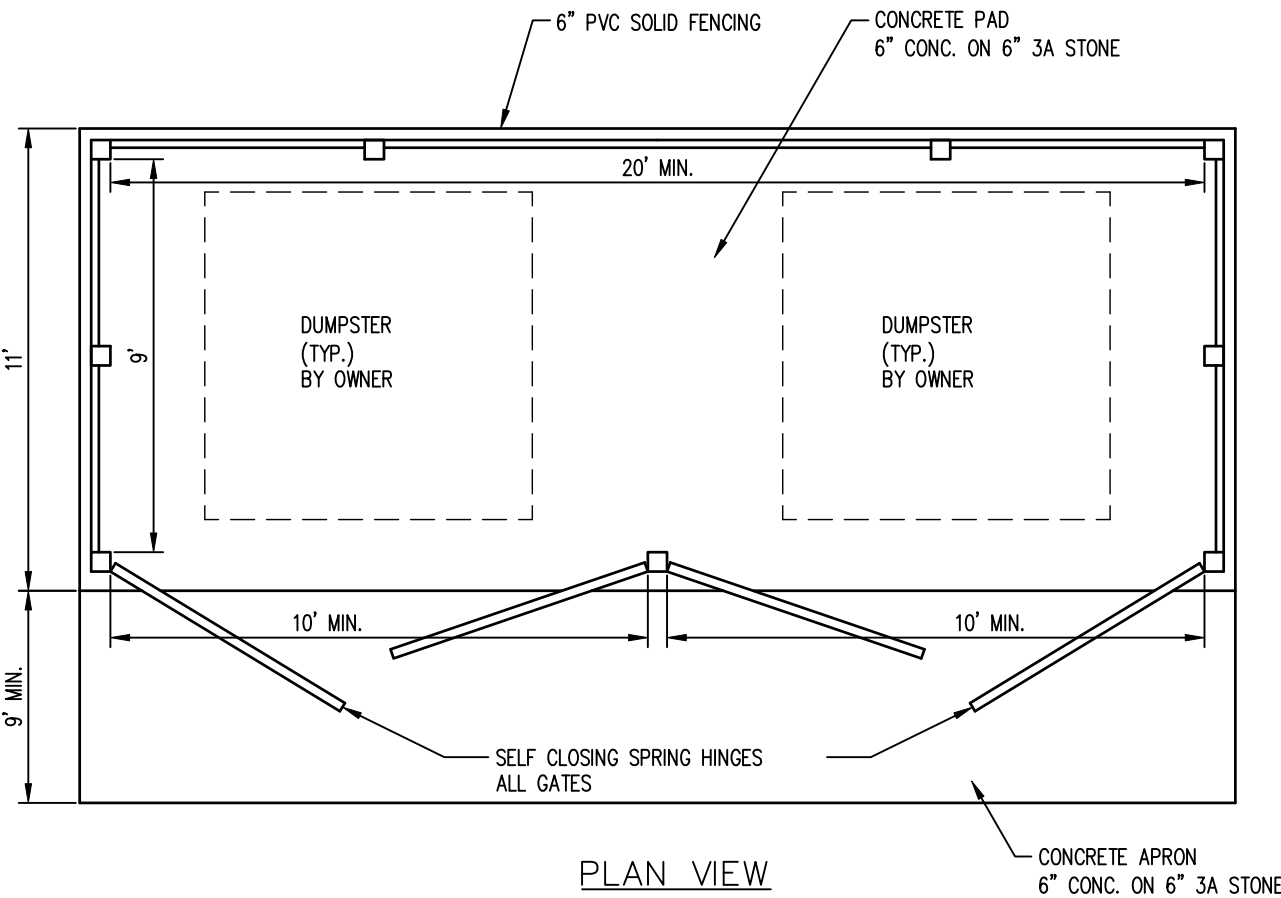
- NOTES:
1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

RIP RAP APRON DETAIL
NOT TO SCALE

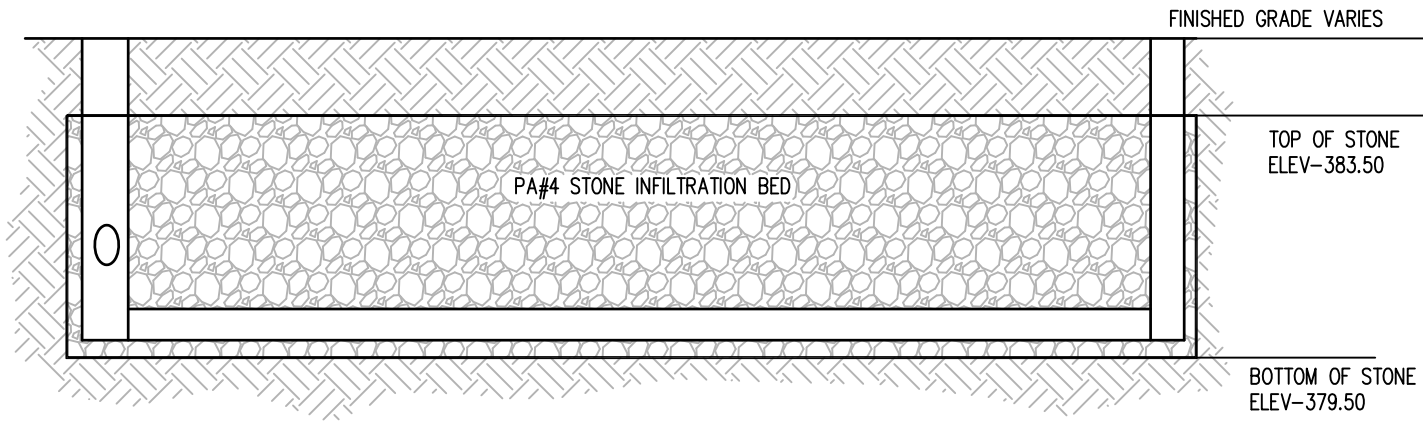
RIP-RAP APRON CALCULATIONS							
ENDWALL	DESIGN Q	DESIGN V	PIPE SIZE	THICKNESS	SIZE	LENGTH	WIDTH (0')
EW-15	8.2900	5.3800	24	1'-0"	R-4	8	4
EW-RD 4	26.5900	9.5600	30	1'-6"	R-5	12	4



REFUSE ENCLOSURE
NOT TO SCALE



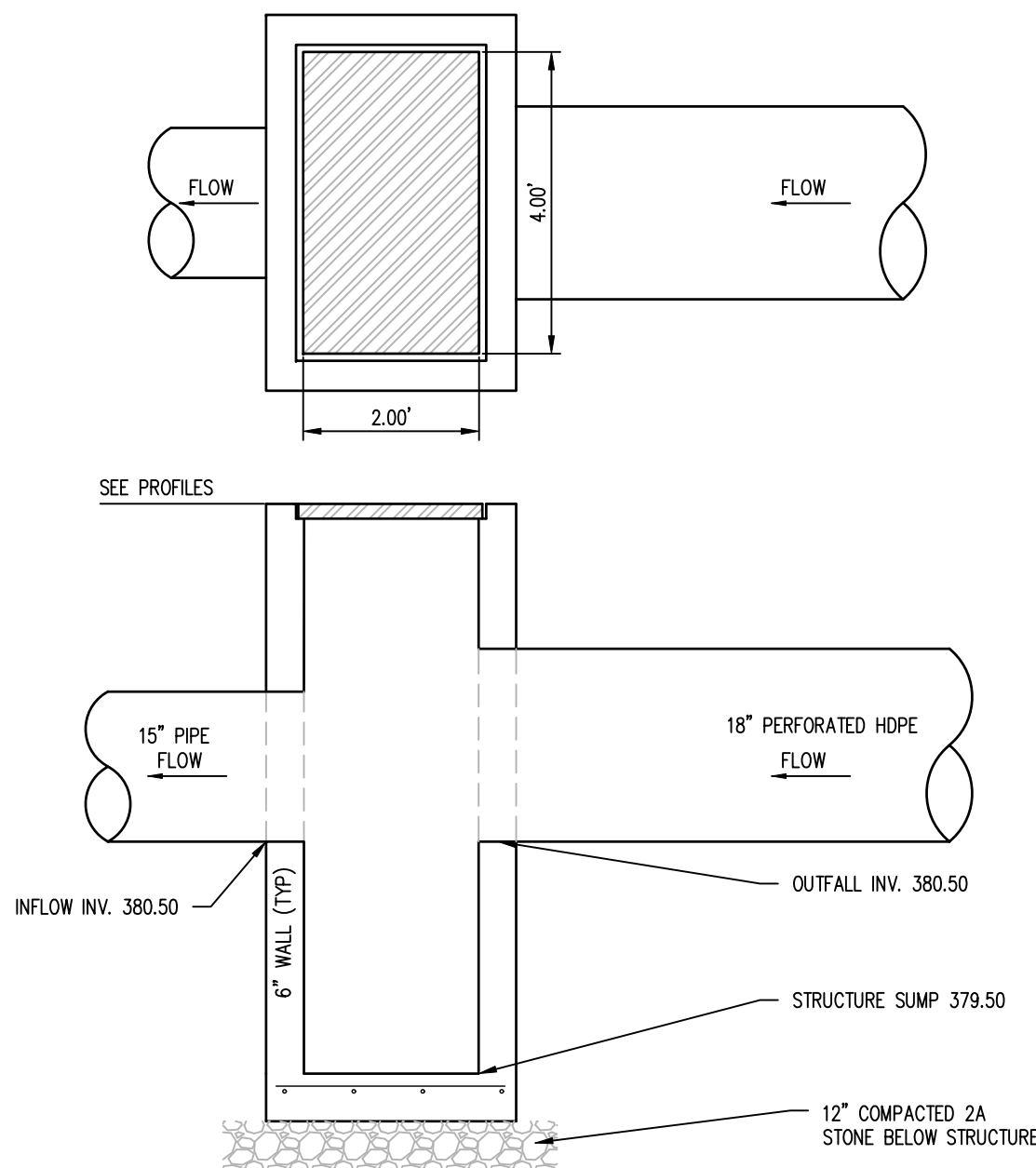
PLAN VIEW



- *FILTER FABRIC: USE CLASS C GEOTEXTILE WHICH MAY INCLUDE, BUT NOT LIMITED TO MIRAFI 180-N, AMOCO 4552, WEBTIO N70, GOLLON N70 OR CARTHAGE FX-80S. THE GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 6" AT ALL SEAMS.

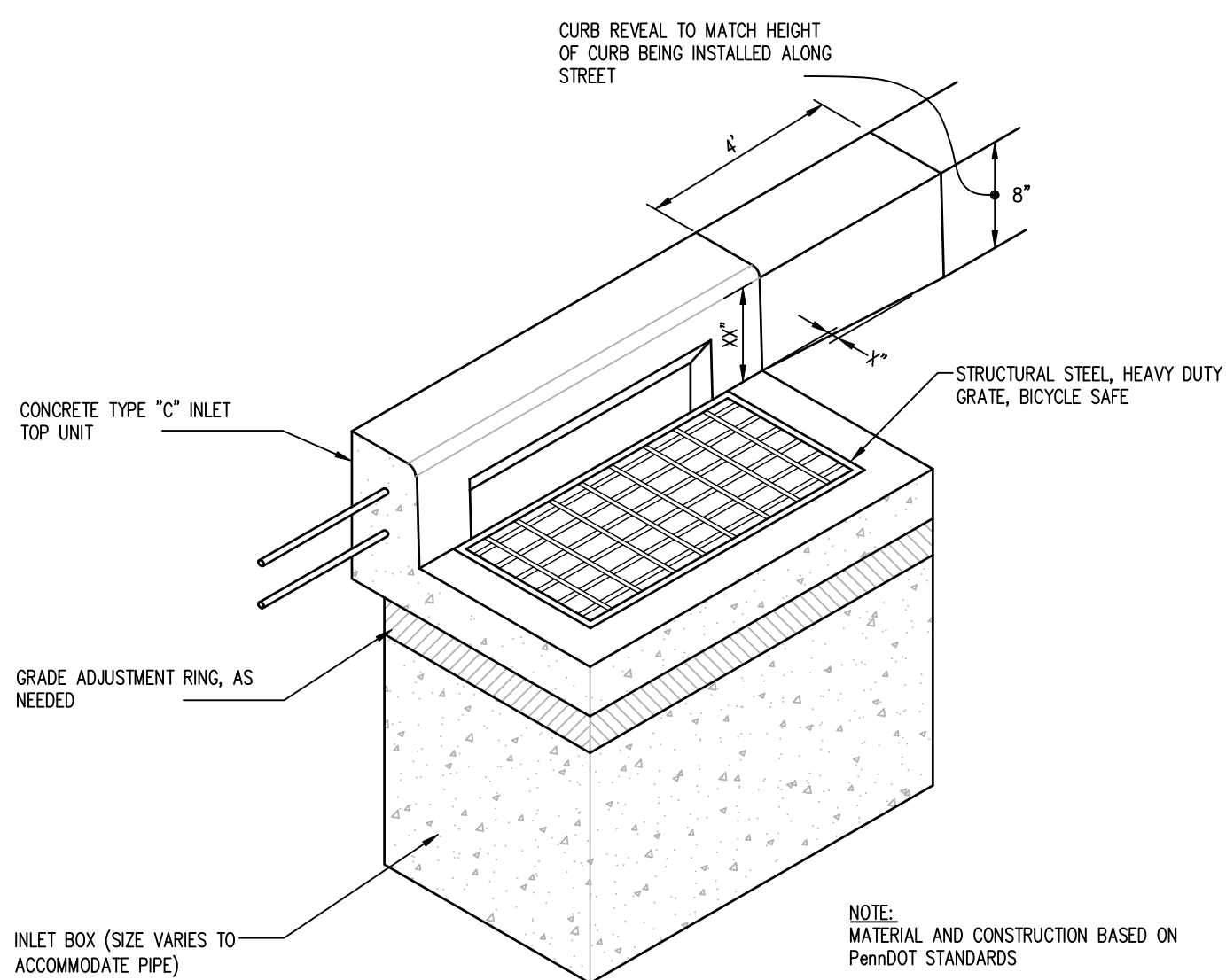
UNDERGROUND INFILTRATION TRENCH DETAIL

NOT TO SCALE



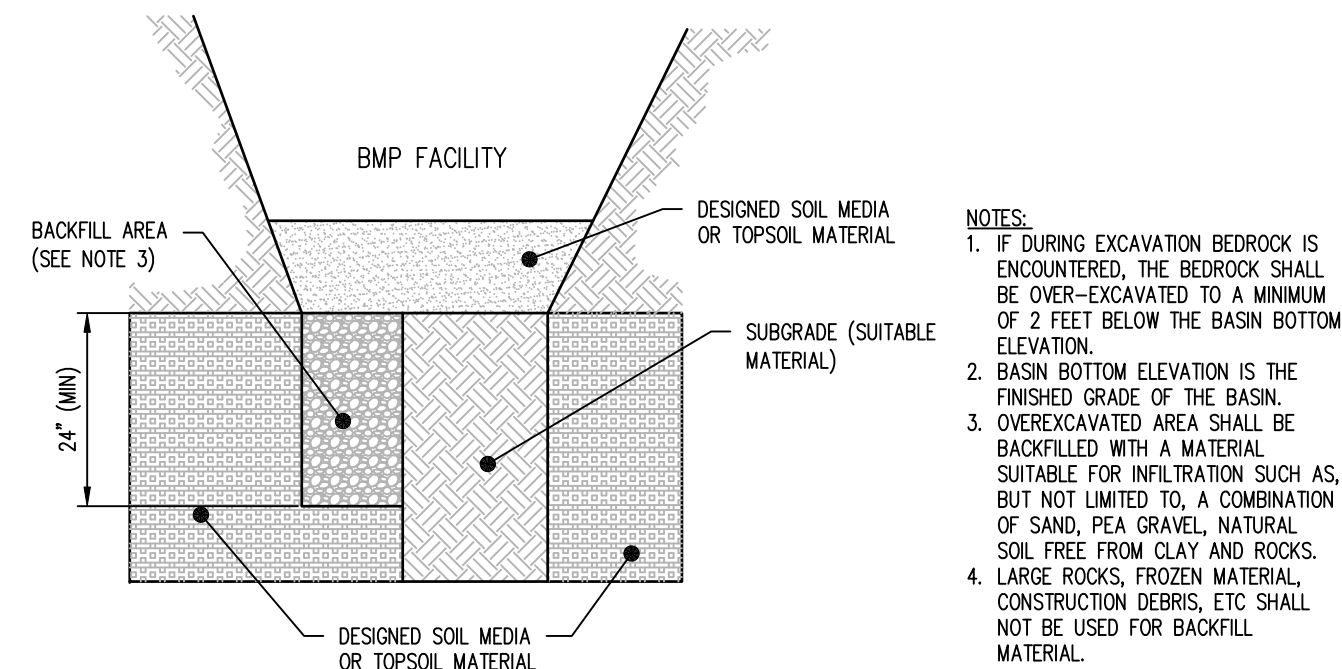
TYPICAL SUBSURFACE OUTLET STRUCTURE DETAIL

NOT TO SCALE



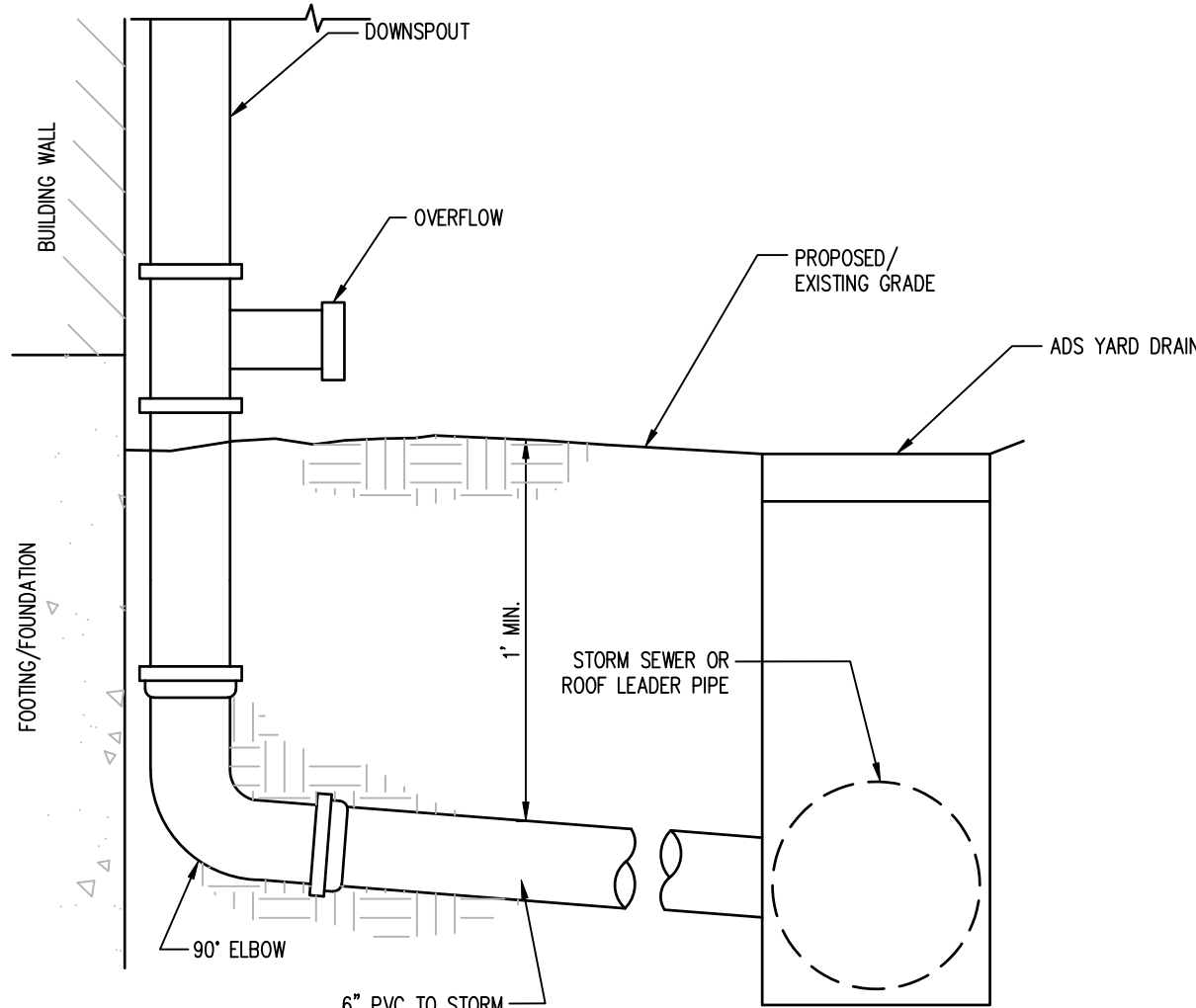
TYPE C INLET

NOT TO SCALE



BASIN OVER-EXCAVATION DETAIL

NOT TO SCALE



DOWNSPOUT CONNECTION DETAIL

NOT TO SCALE

CLIENT:
SMITH LAND & IMPROVEMENT CORP.
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

PROJECT:
REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN
FORD TRUCK CENTER
DETAILS
LOWER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA



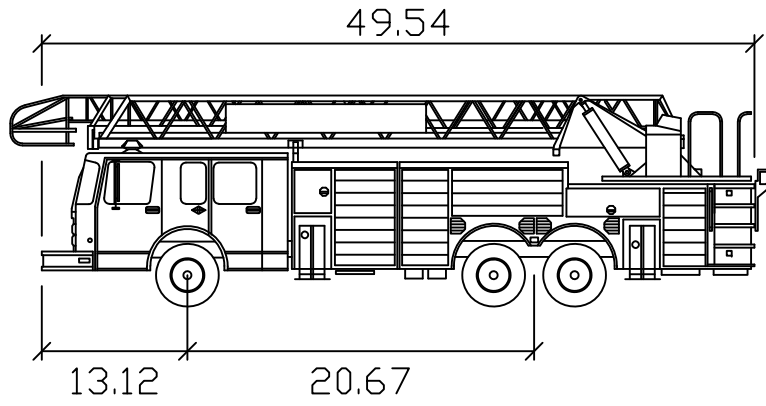
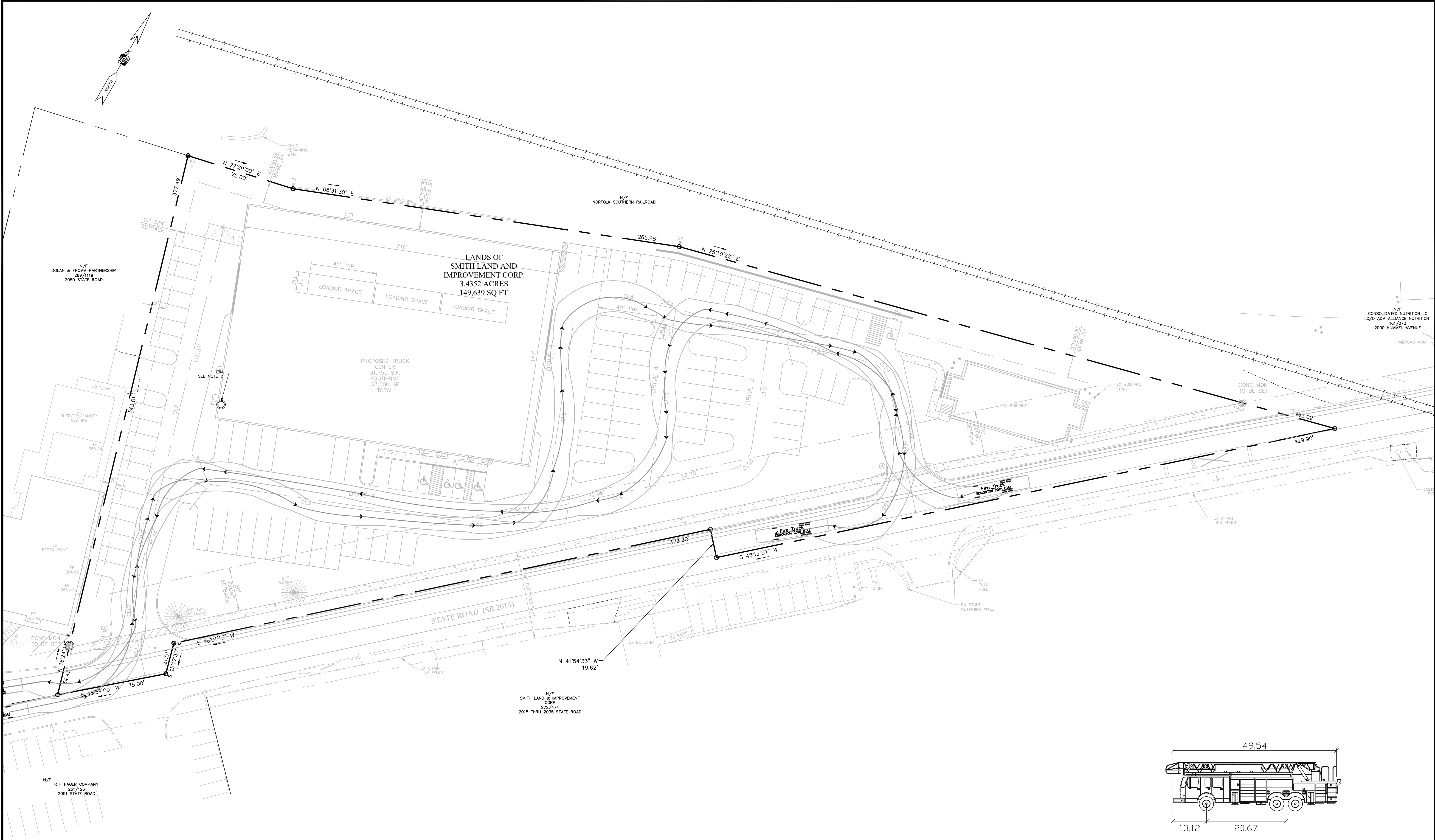
3 Jennifer Court, Suite 300 C
Carlisle, PA 17015
717-422-8982

DATE:
SEPTEMBER 20, 2023

SHEET 12 OF 14

REVISION	DATE	COMMENT
REVISION 1	DECEMBER 1, 2023	AS PER TOWNSHIP COMMENTS

AS NOTED



Fire Truck	
	feet
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 32.6

PROJECT:
REVERSE SUBDIVISION AND FINAL LAND DEVELOPMENT PLAN

FORD TRUCK CENTER
TURNING TEMPLATES

SLD
Planning & Consulting
3 Jennifer Court, Suite 300 C
Carlisle, PA 17015
717-422-8982

DATE:
SEPTEMBER 20, 2023

CLIENT:
SMITH LAND & IMPROVEMENT CORP.
1810 MARKET STREET
CAMP HILL, PA 17011
717-731-0207

LOWER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

REVISION 1

DATE
DECEMBER 1, 2023

COMMENT
AS PER TOWNSHIP COMMENTS

SCALE: 1"=30'

0' 15' 30' 60' 90'